



**VTTrans Fall 2023 Transportation Alternatives (TAP)
and
Municipal Highway and Stormwater Mitigation Program Grant (MHSMP)
Combined Application**

Thoroughly read the TAP and MHSMP application guidebooks before you begin your application. It includes important program information and step-by-step instructions. Pay particular attention to the application process requirements. **Applications are due by e-mail by December 8, 2023.** Please e-mail the completed application to: Ross.gouin@vermont.gov and Scott.robertson@vermont.gov.

Ripton Sand & Salt Shed
(Project Name/Title)

802-388-2266
(Phone)

Alison Joseph Dickinson
(Municipality contact person responsible for the management of this project)

ajdickinson@riptonvt.org
(e-mail address)

Ripton
(Town)

\$ 312,400
Amount of **Federal Funds requested** (no more than 80% of the project cost estimate).

05766
(Zip Code)

\$78,100
Amount of Local Match. Example:
Federal Award = \$600,000 (80% of total)
Local Match = \$150,000 (20% of total)
Total Project Cost = \$750,000 (100% of the total)

PO Box 10, Ripton VT 05766
(Mailing Address)

County: Addison

Town/Village/City: Ripton

Specific location, street, or road: 683 Lincoln Road / 333 Peddlers Bridge Road

Regional Planning Commission: Addison County Regional Planning Commission

If a linear project, what is the length in feet? N/A

Is the project on or intersecting to a State maintained highway? Yes No

- Note: If yes, be sure to include documentation that you have notified the VTTrans District Transportation Administrator of the intent to apply for TA funding and have provided them with a brief (one paragraph) description of the proposed project.*

Project type being applied for: Scoping Design/Construction

The municipality understands that a typical construction project utilizing TAP or MHSMP Program funds will take roughly three years (min.) in the Design and ROW phases prior to going to construction (as pointed out in the TAP and MHSMP Application Guides)? Yes No

Does this project have a previously completed scoping or feasibility study? Yes No

Note:

Attached map(s)

Fiscal Information:

Accounting System Automated Manual Combination

SAM Unique Identifier # XKH5NE3BJJY5

Fiscal Year End Month June

Property Ownership: Property was acquired as part of this project.

If the proposed project is on private property that will need to be acquired by the Municipality through purchase, easement, or eminent domain (includes temporary construction rights) in accordance with the "Uniform Act", then the municipality is committed to exercising its right of *eminent domain* to acquire the rights to construct the project if necessary. Yes No

Funding:

Does this project already have existing funding? If so, please describe. Yes No

This project is funded under contract CA0559: Ripton STP MM 19(18) \$356,000 and TAP TA23(25) \$330,000, with \$164,000 local match. The total project cost exceeds available funds. It is now estimated at greater than \$1,200,000.00.

Please note that existing projects will not be considered for additional funding without a current NEPA clearance and ROW clearance. Please provide date of clearances below:

NEPA clearance date May 6, 2020

ROW clearance date April 22, 2022

Will you accept an award less than you applied for? Yes No

- If yes, please indicate whether local funds will be used to make up the shortfall, or if the project scope will be reduced. If the project scope is to be reduced, describe what part of the project (please be specific) you would accept partial funding for.

Local funds will make up the shortfall.

A support letter from the governing body of the applicant municipality or organization and an acknowledgement and source of the local match and commitment to future maintenance responsibility for construction projects is required (must be dated within 1 year of the application). Is a letter of support attached?

Yes No

Regional Planning Commission Letter of Support:

In order to apply, the project must have a letter of support from the regional planning commission. Is a letter of support attached?

Yes No

PLEASE NOTE: If this application is for salt or sand shed funding, the applicant must read and understand the *Municipal Assistance Section Salt Shed Application Guide*. All of the following scoring questions below must thoroughly convey an understanding of the salt and sand guidance provided.

Application Scoring Criteria:

- 1. Please give a brief description of the project (be sure to indicate the primary facility type being applied for and be concise). (10 points max.)**

Construction of a 76'-6" x 140' covered sand and salt storage shed, with an overhead door, a personnel door, lighting, and electrical service. The building is sized for sand and salt storage only. The building permit prohibits other uses.

- 2. What is the feasibility of this project? Feasibility (or Scoping) study applications will not be scored on this criterion. Also, please describe the extent of project development to date. (10 points max.)**

100 % feasible. Site acquired. Permits are in place. Design and bid award complete. Four bids were received. The low bid exceeded the engineer's estimate of probable cost by \$401,709.07, 186%. Construction inspection services were procured. Construction began in spring 2023 and is 23% complete. Site preparation is done. A paving subcontractor is approved. A building is approved and ordered. Construction is on hold for the winter. A copy of the bid and plans are attached.

- 3. Does this project address a need identified in a local or regional planning document? If so, please describe. (5 points max.)**

Yes. The Ripton Town Plan, approved by the regional planning commission, cited the need to relocate the existing sand pile from a floodplain and store it in an environmentally responsible way. It is also documented in planning commission minutes and town reports, and correspondence from the regional planning commission.

4. Does this project:

A. Benefit a State Designated Center per the link below (i.e., downtowns, villages, or neighborhood growth centers recognized by the Vermont Department of Economic, Housing and Community Development?
N/A

B. Benefit mobility for disadvantaged populations to include elderly, disabled, minorities, and low-income residents.
N/A

5. Provide a project cost estimate below (project costs below include both federal dollars and local dollars). Projects will be scored based on whether the cost appears realistic for the size and scope of the project. For scoping studies, use PE and Local Project Management lines only.

Note: If you are applying for additional funds for an existing project, show the amount being requested for this grant in the PE, ROW, Construction, Construction Engineering, and Municipal Project Management rows below. Also, be clear regarding total project cost and other funding amounts and sources in the additional funding comments box below. (10 points max.)

Right-of-way / Acquisition (ROW) (appraisals, land acquisition and legal fees)	\$ 0
Construction (construction costs with reasonable contingency)	\$ 340,000
Construction Engineering (cost to provide inspection during construction)	\$ 15,000
Municipal Project Management Costs (minimum of 10% of total PE, ROW and Construction Phases).	\$35,500
Total Project Cost	\$ 390,500

Addition Funding Comments: (ex. Total and additional funding for existing projects)

Costs escalated due to COVID, inflation, BABAA requirements, and a contractor who did not understand the bid documents and VTrans contract requirements. Items such as review of building plans were done and paid for twice. The Town share is approaching 50%. Ripton suffered significant road damage in 2023 summer storm events FEMA DR4720 and DR4744; Town funds are depleted.

Construction contract with 23% construction complete and 2 change orders = \$877,832.00

Current grant funding \$656,000 + match \$164,000 = \$820,000

The total project cost estimate is \$1,210,500. With no additional funding the local match is 46%.

If funding is awarded, \$1,210,500 - \$820,000 = \$390,500.00 = \$312,400 grant, \$78,100 match.

6. Select the eligibility category below (A, B, C or D) that best fits your project and answer the corresponding questions for that category (choose only one category). 10 bonus points will be awarded to projects that are primarily Bicycle or Pedestrian facilities.

A. Bicycle and Pedestrian Facilities (includes Safe Routes for Non-Drivers and Conversion of abandoned railroad corridors.

B. Community Improvement Activities

C. Environmental Mitigation Activity Related to Stormwater and Highways (Including Salt and Sand Sheds)

i. Please describe how this application provides environmental mitigation relating to stormwater and highways. (10 points max.)

Sand and salt at the existing open sand pile site washes into the adjacent Middle Branch of the Middlebury River. Jersey barriers were recently placed to help contain the sand and minimize erosion, but concerns continue. ANR staff investigated complaints about the runoff and are pleased that there are plans to move. Moving the sand pile and related trucking activity will eliminate a repetitive pollution problem, reduce sediment in waters leading to Lake Champlain, and allow for floodplain restoration and better stormwater management.

ii. What information or data is provided to substantiate the current stormwater problem and associated environmental impacts? (10 points max.)

Damage and sand loss is documented in FEMA flood events including 2000, 2008, 2011, and 2023. Floodwater gullied the site and washed sand and salt into the river. The fire station was relocated from this site with FEMA funds after the 2000 flood. The FEMA FIRM map shows the site is in a Zone A floodplain. Addison County Riverwatch Collaborative sampling results regarding turbidity substantiate the problem and environmental impact.

iii. What substantiating data or information is provided to show that the proposed application is an effective and maintainable solution to the problem? (10 points max.)

Maps and photos are provided to show that moving the sand pile from its current location to its new site out of a floodplain and away from waterways will be an effective and maintainable solution. The sand and salt pile will be on a paved base with a covered roof, rather than sitting on the ground, uncovered. The existing site will be cleaned and returned to vegetation.

D. Environmental Mitigation Activity Related to Wildlife

Town of Ripton
PO Box 10, 1311 VT Rte 125
Ripton VT 05766
ph (802) 388-2266 fax (802) 388-2266

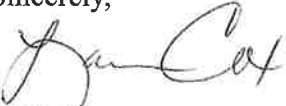
November 27, 2023


Vermont Agency of Transportation
Municipal Assistance Section
219 North Main St.
Barre VT 05641

To VTrans Municipal Assistance Section:

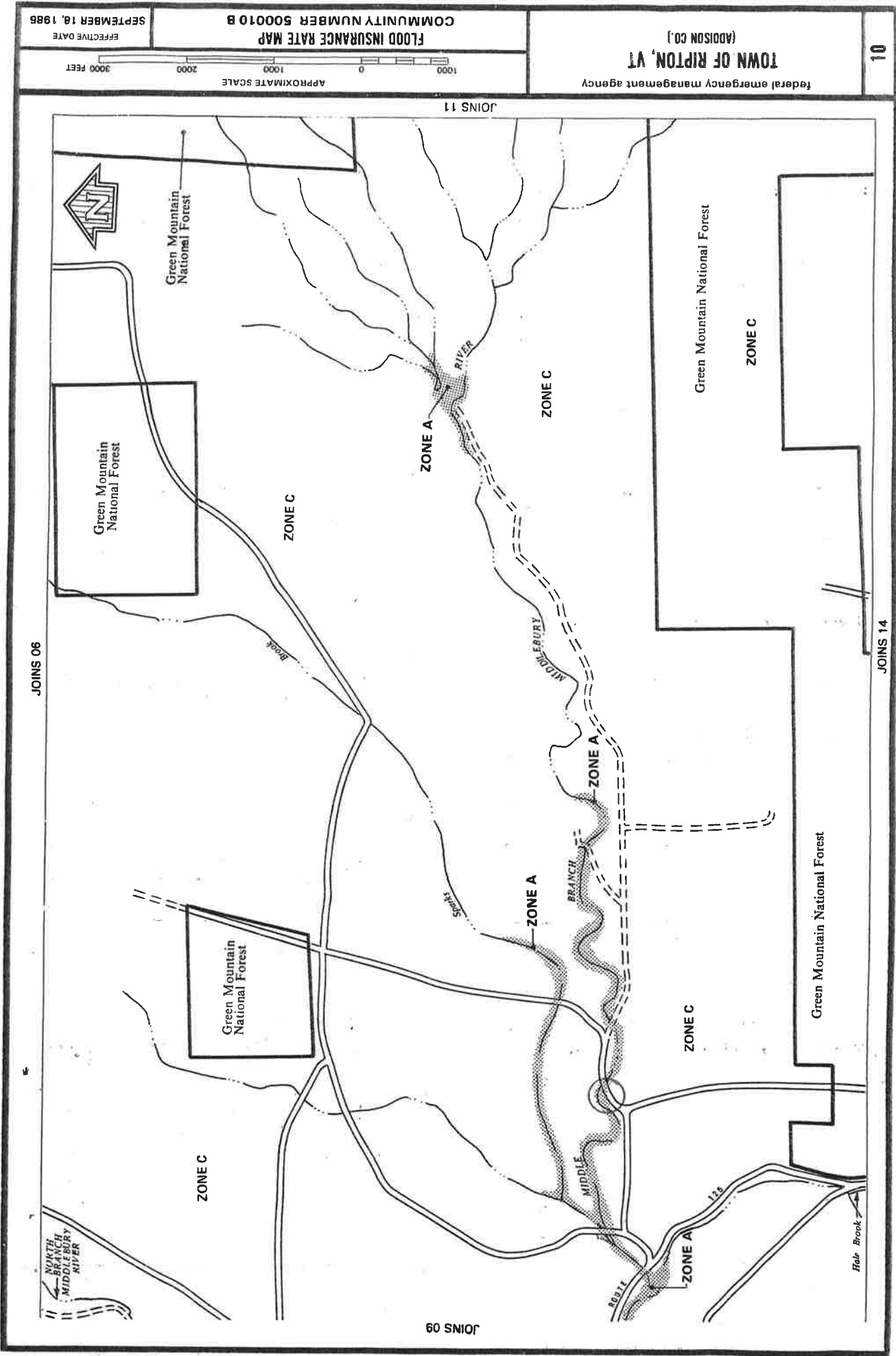
The Town of Ripton Selectboard supports the application for additional funds from the Municipal Highway and Stormwater Mitigation Program for project # STP MM 19 (18) and TAP # TA 23 (25). We acknowledge our local match financial requirement. It is funded by our local property tax dollars. We acknowledge our responsibility for future maintenance costs for the sand and salt shed. We very much look forward to using the shed and moving our sand and salt pile from its current location adjacent to the Middle Branch of the Middlebury River. We appreciate your help with completing this important project.

Sincerely,


Laureen Cox, Chair
Town of Ripton Selectboard


Timothy Hanson


Giles Hoyler



EXISTING LOCATION Ripton sand/salt pile
Zone A
FEMA Flood Insurance Rate Map

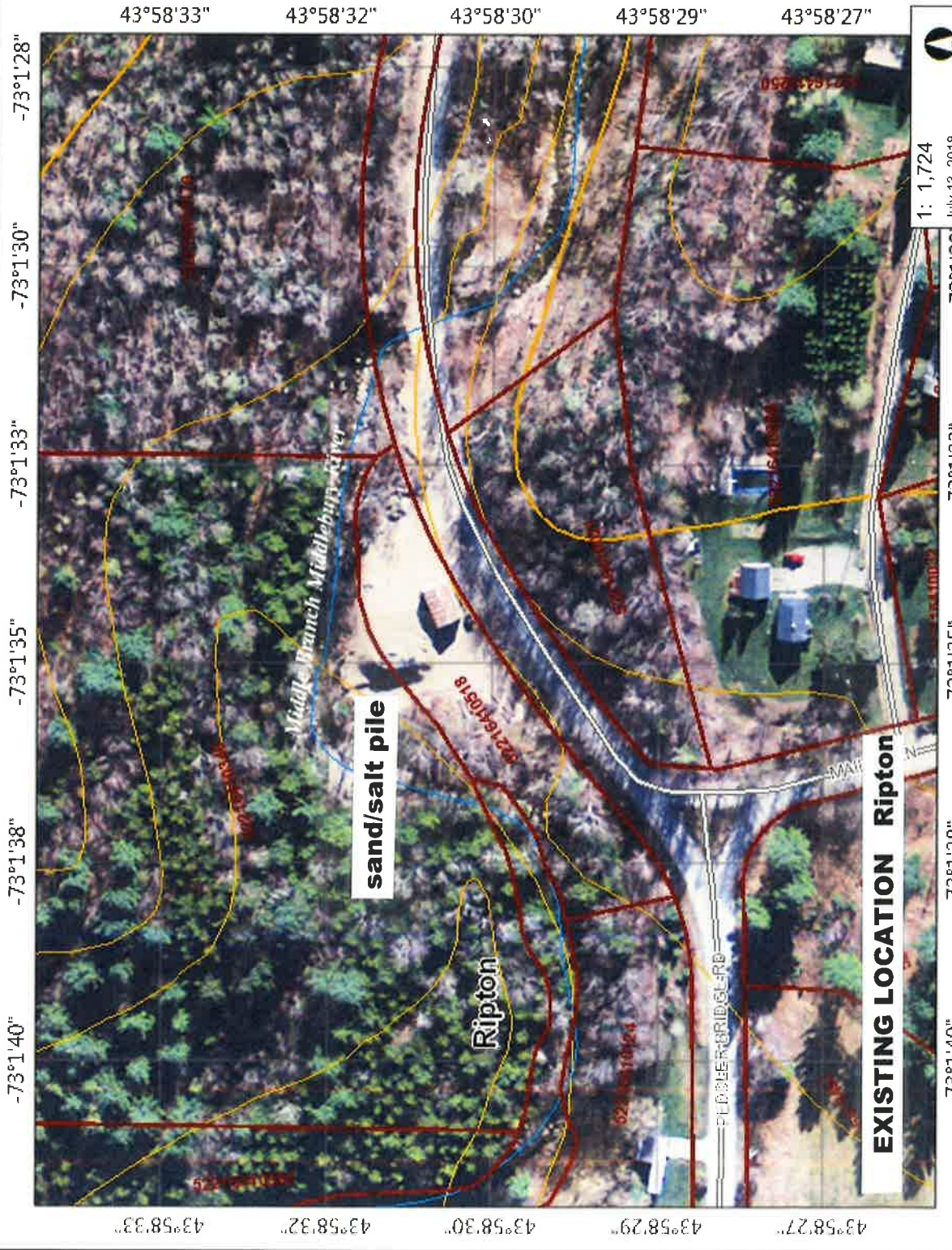


LEGEND

- Parcels (Standardized)
- Roads
 - Interstate
 - Principal Arterial
 - Minor Arterial
 - Major Collector
 - Minor Collector
 - Local
 - Not part of function Classification S
- Waterbody
- Stream
- Parcels (Non-Standardized)
- Town Boundary

NOTES

Map created using ANR's Natural Resources Atlas



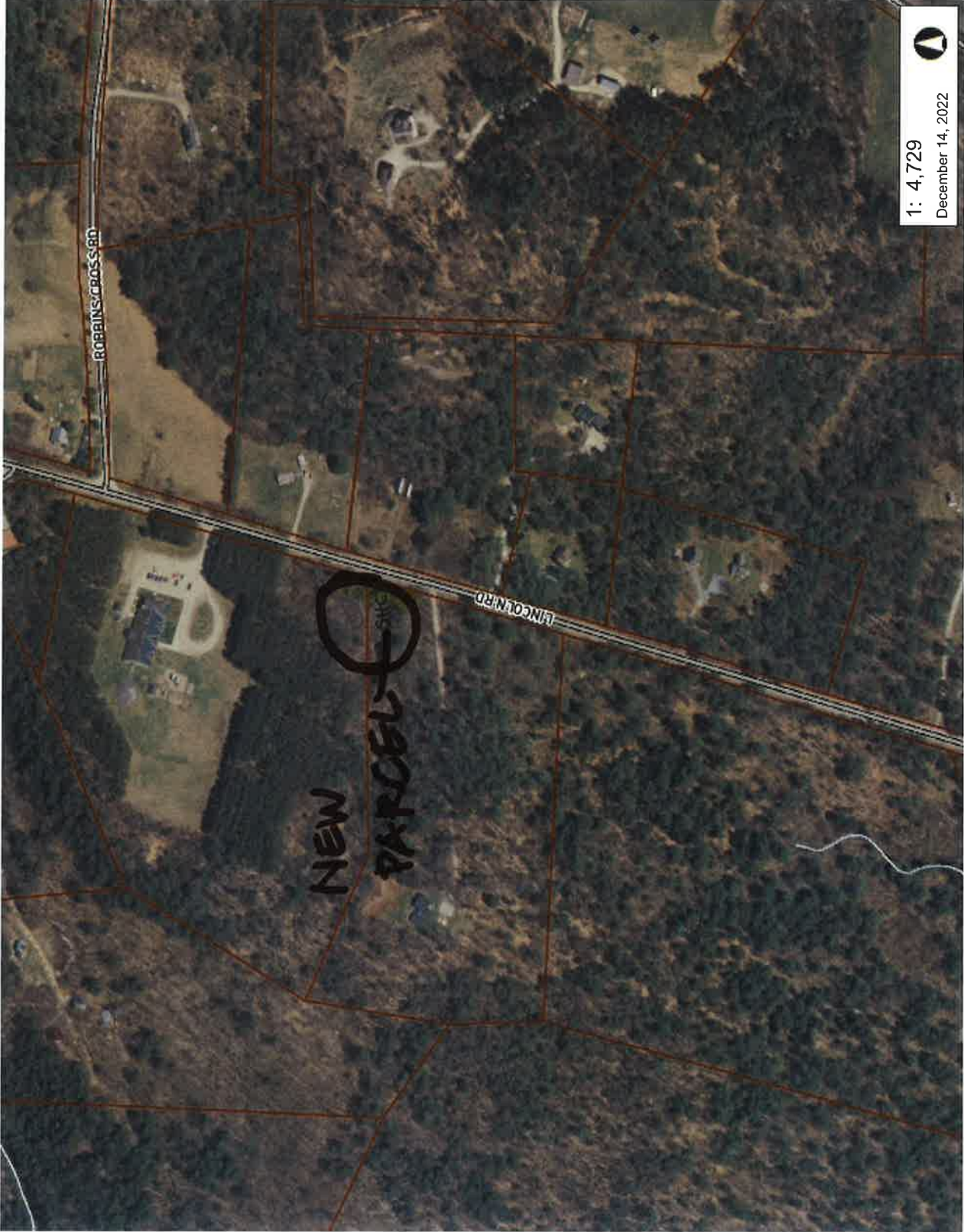
88.0 0 44.00 88.0 Meters

1" = 144 Ft. 1cm = 17 Meters

THIS MAP IS NOT TO BE USED FOR NAVIGATION

DISCLAIMER: This map is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. ANR and the State of Vermont make no representations of any kind, including but not limited to, the warranties of merchantability, or fitness for a particular use, nor are any such warranties to be implied with respect to the data on this map.

© Vermont Agency of Natural Resources



1: 4,729
December 14, 2022

240.0 0 120.00 240.0 Meters
1" = 394 Ft. 1cm = 47 Meters
THIS MAP IS NOT TO BE USED FOR NAVIGATION

DISCLAIMER: This map is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. ANR and the State of Vermont make no representations of any kind, including but not limited to, the warranties of merchantability, or fitness for a particular use, nor are any such warranties to be implied with respect to the data on this map.

LEGEND

- Parcels (standardized)
- Roads**
 - Interstate
 - US Highway, 1
 - State Highway
 - Town Highway (Class 1)
 - Town Highway (Class 2,3)
 - Town Highway (Class 4)
 - State Forest Trail
 - National Forest Trail
 - Legal Trail
 - Private Road/Driveway
 - Proposed Roads
- Stream/River**
 - Stream
 - Intermittent Stream
- Town Boundary

NEW SAND SHED
LOCATION

NOTES

Map created using ANR's Natural Resources Atlas

TOWN OF RIPTON General Ledger
Comparative Budget Report
Highway

Account	Budget FY - 2023	Actual FY-2023 Pd:12	Budget FY - 2024	Actual FY-2024 Pd: 6
Ditching	22,000.00	52,588.55	22,000.00	5,818.00
Grading	18,000.00	23,647.25	24,000.00	6,974.00
Chloride	8,000.00	6,691.00	8,000.00	196.00
Sweeping Roads	8,000.00	9,482.00	8,000.00	0.00
Culverts	7,000.00	58,670.61	14,000.00	54,244.40
Guardrails	1,000.00	1,390.00	2,000.00	0.00
Gravel	44,000.00	46,795.53	40,000.00	6,419.26
Storm Damage	9,000.00	6,747.00	7,000.00	255.00
Road Signs	1,000.00	669.00	1,000.00	0.00
Bridge Work	0.00	0.00	0.00	5,852.00
Cutting Brush & Trees	10,000.00	2,463.00	8,000.00	735.00
Mowing: Roadside	6,800.00	8,903.75	7,500.00	0.00
Mowing: Boom	2,800.00	6,250.00	3,000.00	0.00
Road Commissioner	5,000.00	9,420.00	8,000.00	11,258.61
Checking Roads	3,600.00	3,600.00	3,600.00	1,324.00
Admin. Work	0.00	1,449.00	0.00	300.00
Municipal Project Manager	10,000.00	8,170.38	10,000.00	12,931.14
Training	500.00	0.00	500.00	0.00
Class IV Road Work	10,000.00	1,657.88	10,000.00	4,478.16
Paving	20,000.00	646.00	60,000.00	0.00
Crack sealing	10,000.00	0.00	10,000.00	0.00
Major Road Reconstruction	25,000.00	16,084.64	25,000.00	0.00
FEMA-DR4720	0.00	0.00	0.00	101,795.84
Muni Rds Gen Permit	1,350.00	1,765.00	1,990.00	0.00
Grant Match Fund	15,000.00	15,000.00	15,000.00	0.00
Pay to Major Project Fund	10,000.00	10,000.00	10,000.00	0.00
FEMA-DR4744	0.00	0.00	0.00	406,187.90
Misc. Summer Work	2,000.00	1,658.49	2,000.00	0.00
Buy/Screen Sand	40,000.00	43,470.80	42,000.00	57,404.14
Truck Sand	20,000.00	13,695.00	18,000.00	21,400.00
Salt	7,000.00	7,669.48	9,000.00	7,734.32
Sanding Roads	42,000.00	61,987.00	42,000.00	2,825.50
Plowing Roads	55,000.00	44,096.50	55,000.00	1,972.00
Winter Storm Damage	7,000.00	2,095.00	7,000.00	0.00
Culvert Thawing	3,000.00	0.00	1,000.00	0.00
Misc. Winter Work	2,000.00	3,733.00	3,000.00	0.00
Equipment purchase	0.00	12,875.00	0.00	904.00
Total Expenditures	426,050.00	483,370.86	477,590.00	711,009.27
Total Highway	-426,050.00	-483,370.86	-477,590.00	-711,009.27
Total All Funds	-426,050.00	-483,370.86	-477,590.00	-711,009.27

ANNUAL SAND & SALT
USAGE

MILLBROOK

BUILDING & REMODELING, INC.

Submittal Data Sheet

Ripton Sand & Salt Shed | 2023

SUBMITTED TO:

Contact: Patrick Travers
Address: 2346 East Warren Rd
Waitsfield, VT 05673
Phone: C: 802-782-3354
E-Mail: ptravers@gpinet.com

GC: Millbrook Building & Remodeling, Inc.
Address: P.O. Box 526; Essex Jct., VT 05453
Phone: O: (802) 878-2663
C: (802) 316-1280 Dave Pratt
E-mail: Office@millbrookvt.com

DATE: 7/28/2023
SUBMITTAL #16
REV # 2

SPECIFICATION SECTION # AND TITLE: Division 03 00 00 Sealed foundation drawings 7/28/2023

DRAWING # (if applicable): See Attached

DESCRIPTION OF SUBMITTED ITEM: Sealed foundation drawings

MANUFACTURER: Eagle Associates of Cassanovia

SUBCONTRACTOR/VENDOR: Millbrook

ORDER DATE/LEAD TIME REQUIRED: N/A

SUBSTITUTION: NO

GENERAL CONTRACTOR'S CERTIFICATION: The General Contractor hereby certifies that he has reviewed the submitted item/system for compliance with the Contract Documents, verified all required field dimensions, and coordinated this item/system with related.

SIGNED: *Laura Sturgeon* | Office Support

DATE: 7/28/2023

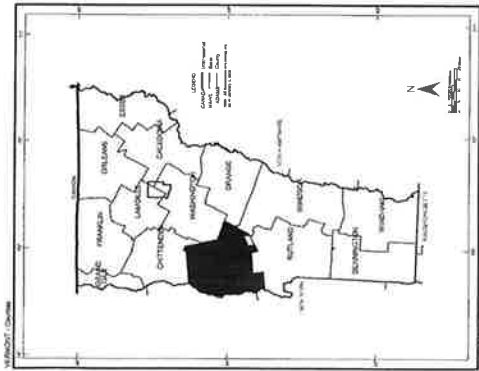
- Reviewed (No Comment)
- Reviewed (See Comment)
- Reviewed (Revise & resubmit)

Checked only for conformance with the design concept of the project and with the information given in the contract documents; review of shop drawings shall not release the contractor from responsibility for deviations from drawings and specifications, errors in shop drawings or schedules, quantities, dimensions, fabrication, installation, and coordination requirements. The contractor shall check and verify all field measurements.

By _____

Date _____

ARCHITECT'S/ENGINEER'S COMMENTS:



ADDISON COUNTY

STRUCTURAL DESIGN LOADS

2015 Vermont Fire & Building Safety Code
 IBC 2015, ASCE 7-10
 Roof Structure and Fabric Covering is per Spantech Risk Category I
 Enclosed Building, Exposure C
 Roof Live Load = 5 psf unreduceable

Wind Speed Vult = 105 mph, Vwind = 81 mph,
 Kh = 0.95; Wind Pressure, q = 22.78 psf

Ground Snow Load (Pg) = 50 psf
 Exposure Coefficient Ce = 1.0
 Snow Importance Factor I = 0.8
 Thermal Coeff Ct = 1.2
 Flat Roof Snow (Pf) = 33.60 psf

Seismic Design Category II
 Ss=0.27g, St=0.091g, Sds=0.286g, Sd1=0.146g;

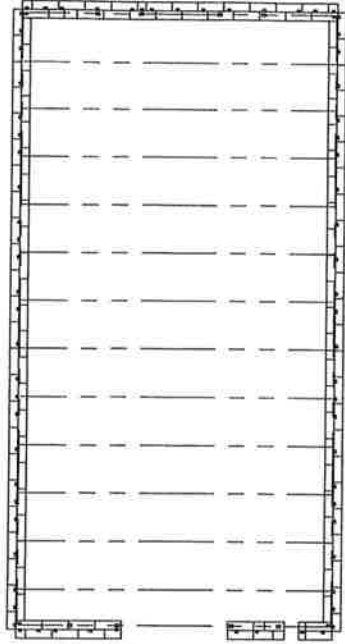
TOWN OF RIPTON,
 685 LINCOLN ROAD (APPROX. ADDRESS),
 RIPTON, VT 05766;
 ADDISON COUNTY.

PROJECT NUMBER: EAS.23.008
 FOUNDATION DRAWINGS FOR
 72' x 140' SPANTECH FABRIC BUILDING SYSTEM
 10,080 SF; 8'x11' FRAME SPACING
 END USE: SALT/SAND

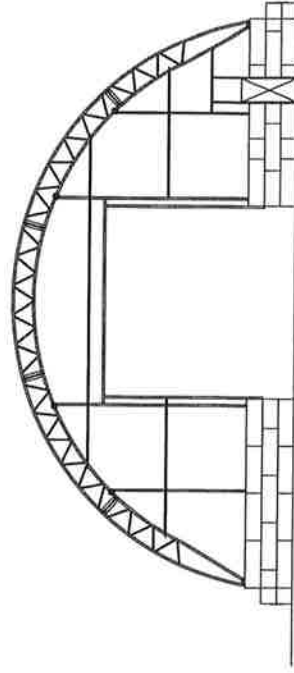
ISSUED FOR CONSTRUCTION
 9 MAY 2023
 REVISION A: 8 JUNE 2023
 REVISION B: 28 JULY 2023

INDEX OF DRAWINGS

- C-1 COVER SHEET & INDEX OF DRAWINGS
- S-1 FOUNDATION PLAN
- S-2 OPEN ENDWALL ELEVATION
- S-3 CLOSED ENDWALL ELEVATION
- S-4 SIDEWALL ELEVATION
- S-5 MISC. DETAILS
- S-6 ANCHOR AND BASE PLATE DETAILS
- S-7 SPECIFICATIONS



PLAN



ELEVATION

BEFORE YOU DIG CALL:
 1-888-344-7233
 www.digsafe.com
 Vermont Dig Safe

This foundation has been designed to meet all anticipated live and dead loads resulting from the covered structure it supports, including those loads from the salt/sand stockpiled material within the building.



BY	REV	DESCRIPTION	DATE	APPROVED
MS	0	ISSUED FOR CONSTRUCTION	5/9/23	MS
HML	A	GENERAL UPDATE	6/8/23	MS
MS	B	SPANTECH BUILDING	7/7/23	MS

SERVINSKY ENGINEERING & ASSOCIATES
 Consulting Structural Engineers
 280 Douglas Ave
 Holmdel, NJ 08941-5515
 (616) 738-1281
 Fax: (616) 738-9291
 email: info@servinsky.com

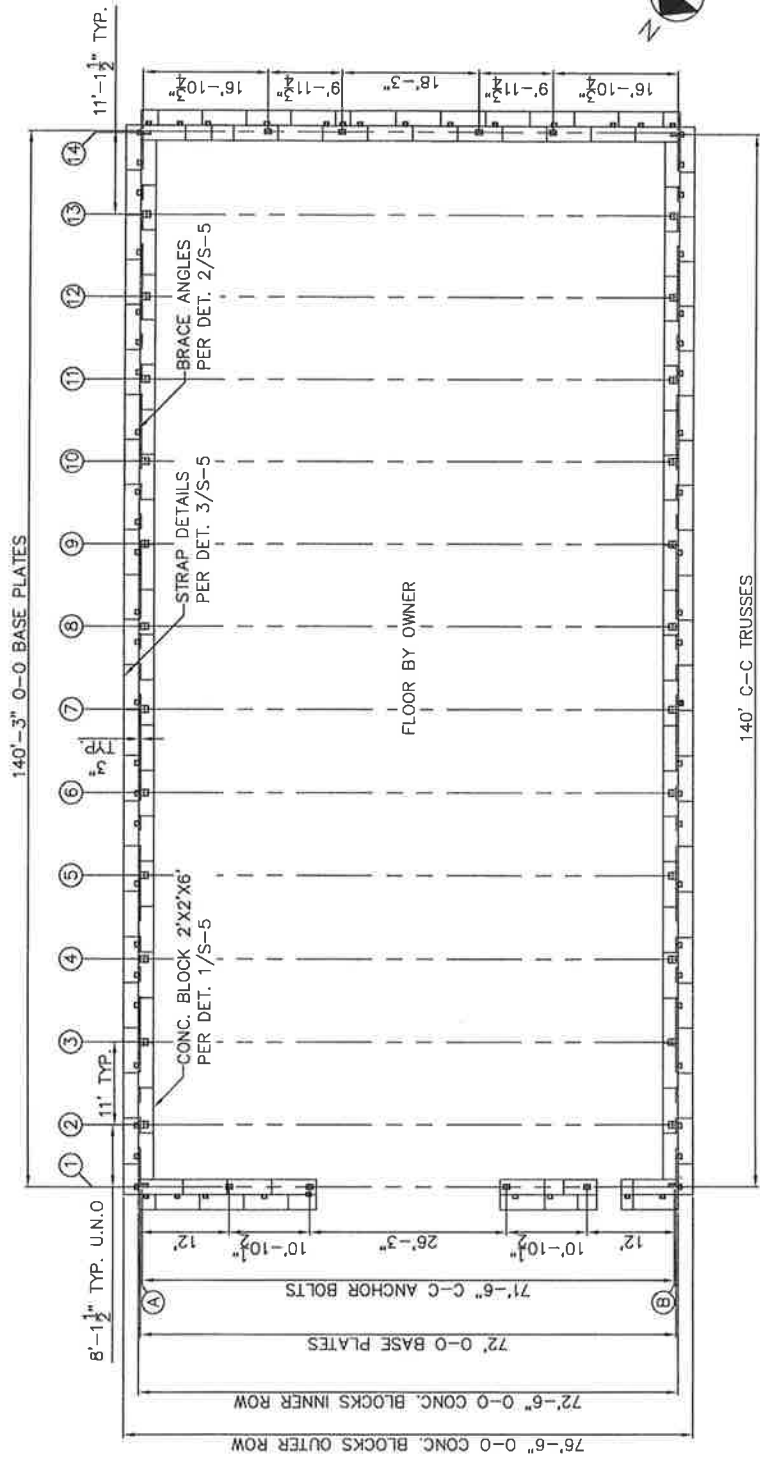
EAGLE ASSOCIATES OF CAZENOVIA, LLC
 3592 COBBLESTONE DRIVE
 CAZENOVIA, NY 13035

COVER SHEET & INDEX OF DRAWINGS

ADDISON COUNTY RIPTON, VT

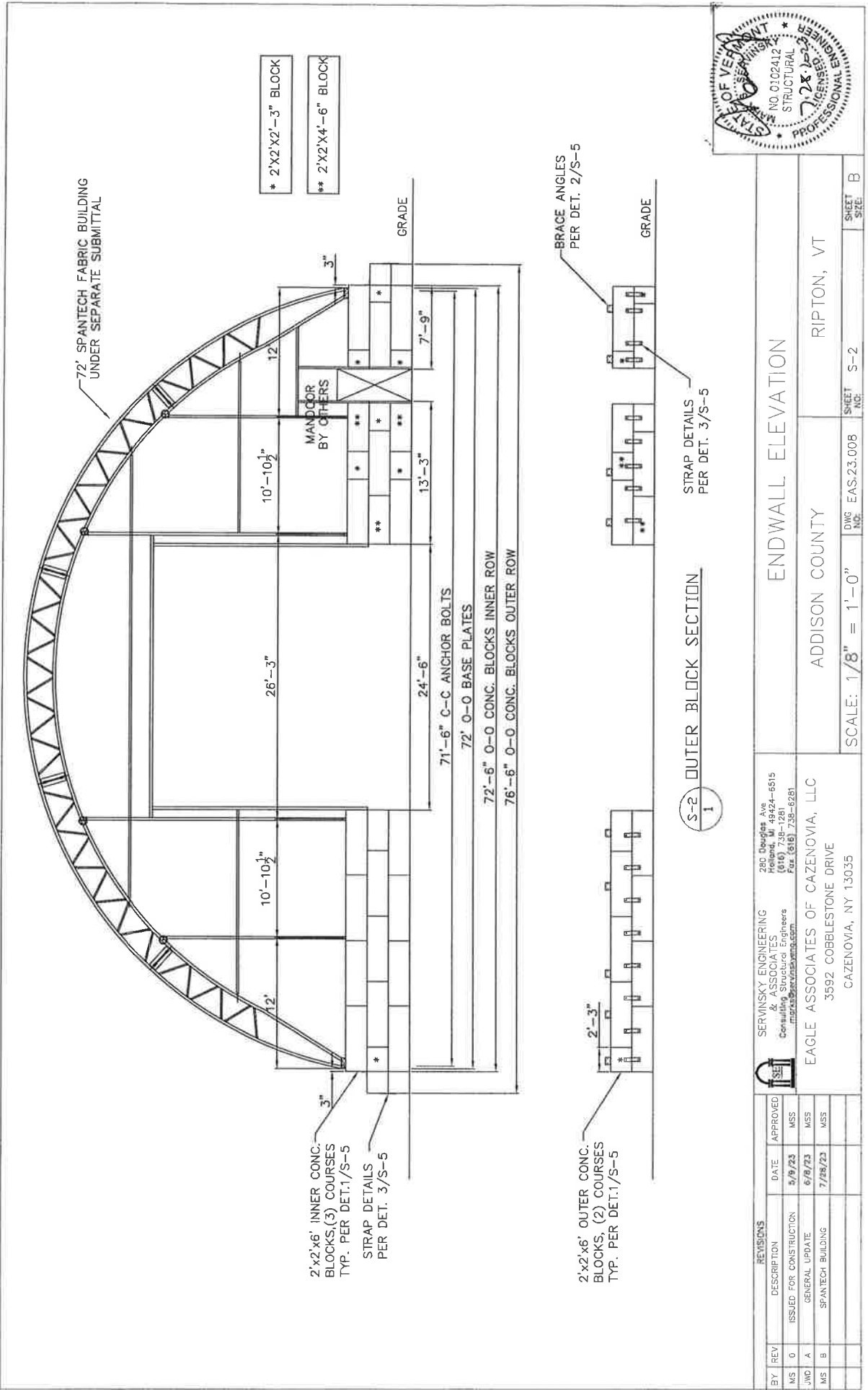
DWG. NO. EAS.23.008 SHEET NO. C-1 SHEET SIZE B

SCALE: 1" = 1'-0"



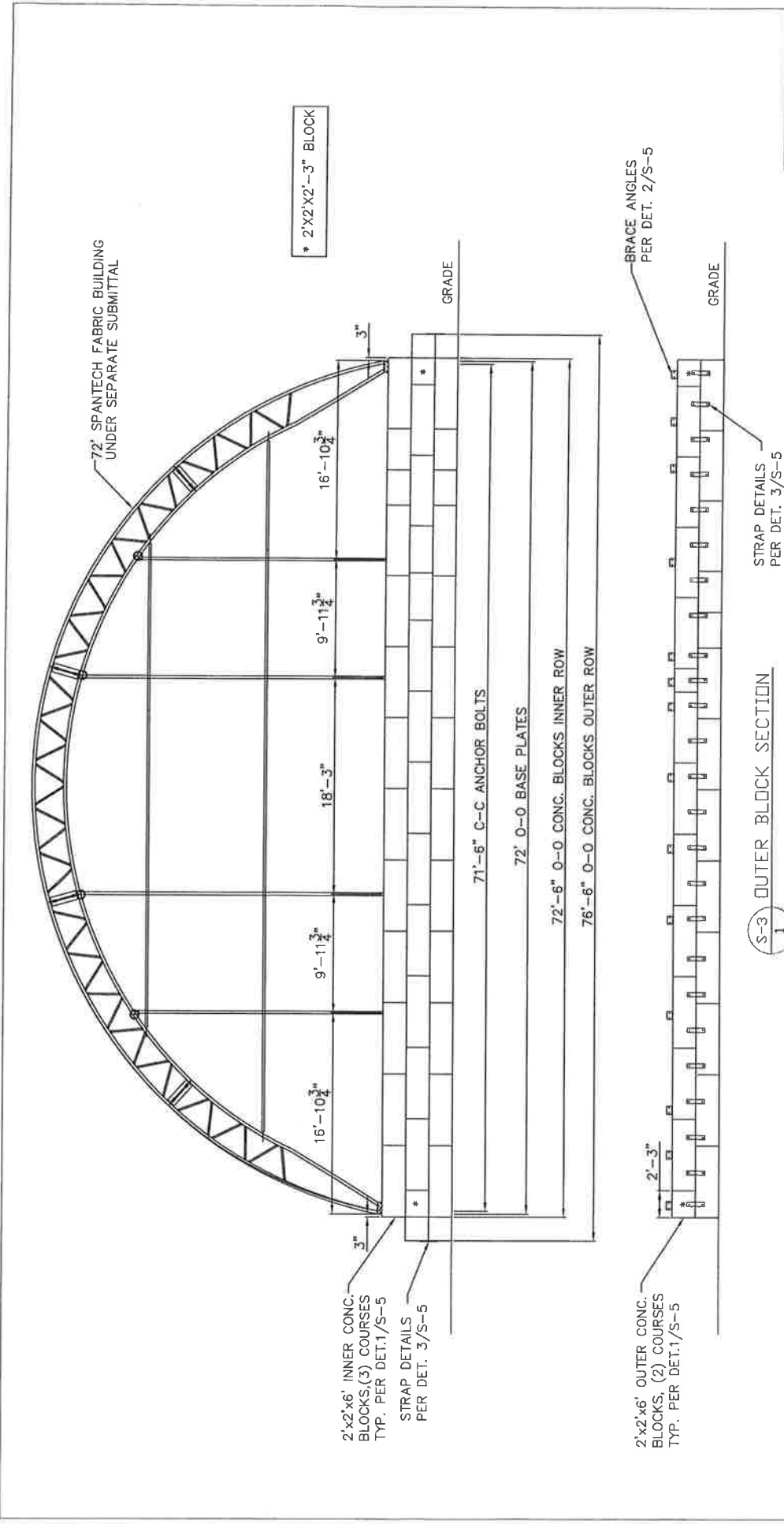
BY	REV	DESCRIPTION	DATE	APPROVED
MS	0	ISSUED FOR CONSTRUCTION	5/9/23	MSS
HL	A	GENERAL UPDATE	6/9/23	MSS
MS	B	SPANTECH BUILDING	7/28/23	MSS

SERVINSKY ENGINEERING & ASSOCIATES Consulting Structural Engineers info@servinskyeng.com		280 Douglas Ave Holland, MI 49424-6515 (616) 738-1281 Fax: (616) 738-0281	
EAGLE ASSOCIATES OF CAZENOVIA, LLC 3592 COBBLESTONE DRIVE CAZENOVIA, NY 13035		SCALE: 1/16" = 1'-0"	
FOUNDATION PLAN		ADDISON COUNTY	RIPTON, VT
DWG NO: EAS-23.008		SHEET NO: S-1	SHEET SIZE: B



BY	REV	DESCRIPTION	DATE	APPROVED
MS	0	ISSUED FOR CONSTRUCTION	5/8/23	MS
JMD	A	GENERAL UPDATE	6/8/23	MS
MS	B	SPANTECH BUILDING	7/28/23	MS

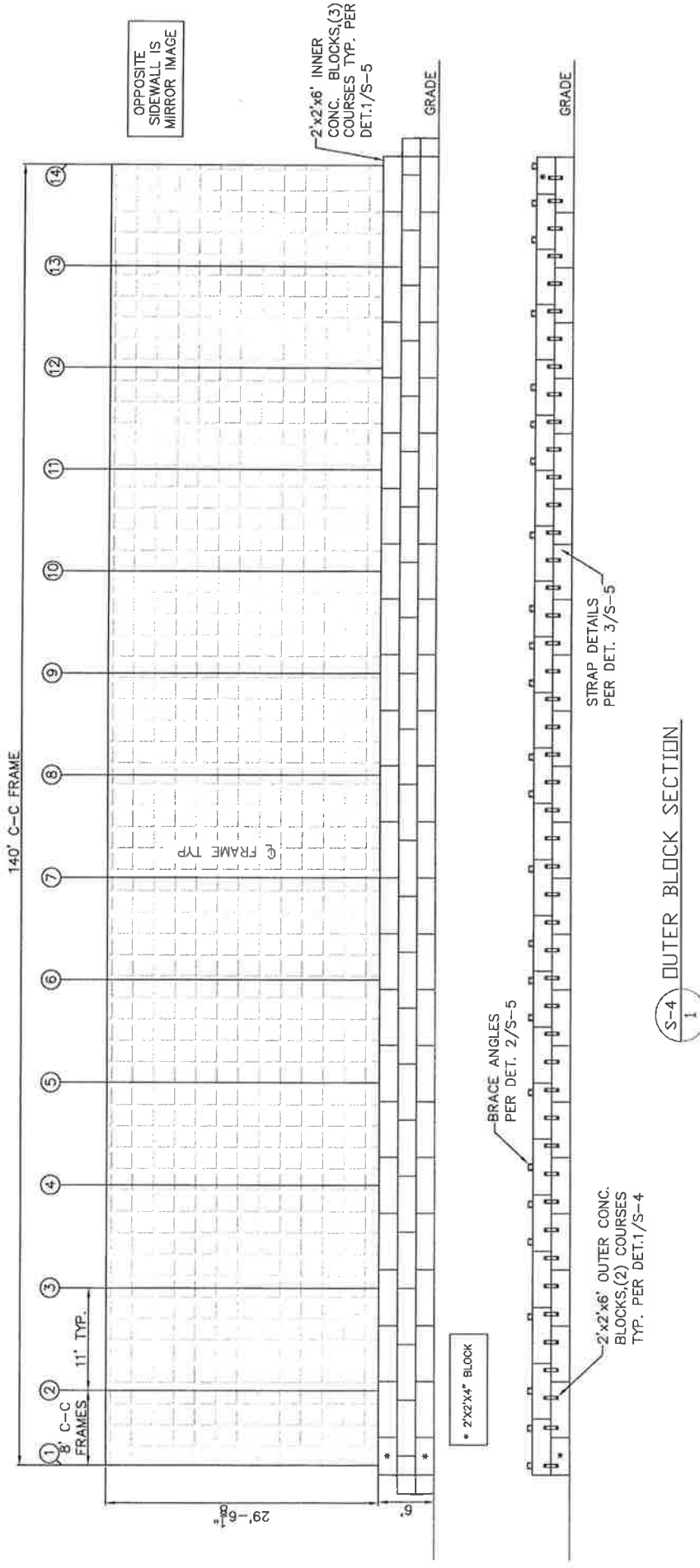
SERVINSKY ENGINEERING 280 Douglas Ave. Cazenovia, NY 13045 (518) 494-6515 Fax: (518) 738-1281 info@servinskyeng.com		EAGLE ASSOCIATES OF CAZENOVIA, LLC 3592 COBBLESTONE DRIVE CAZENOVIA, NY 13035	
ENDWALL ELEVATION		ADDISON COUNTY	
SCALE: 1/8" = 1'-0"		DWG. NO. EAS.23.008	
SHEET NO. S-2		SHEET NO. S-2	
RIPTON, VT		SHEET SIZE: B	



BY	REV	DESCRIPTION	DATE	APPROVED
HML	0	ISSUED FOR CONSTRUCTION	6/8/23	MSS
MS	A	SPANTECH BUILDING	7/26/23	MSS

SERVINSKY ENGINEERING & ASSOCIATES Consulting Structural Engineers mark@servinsky.com		260 Douglas Ave Holland, MI 49424-6515 (616) 738-1281 Fax (616) 738-6281	
EAGLE ASSOCIATES OF CAZENOVIA, LLC 3592 COBBLESTONE DRIVE CAZENOVIA, NY 13035		CLOSED ENDWALL ELEVATION	
ADDISON COUNTY		RIPTON, VT	
SCALE: 1/8" = 1'-0"		DWG NO: EAS.23.008	SHEET NO: S-3
		SHEET SIZE: B	

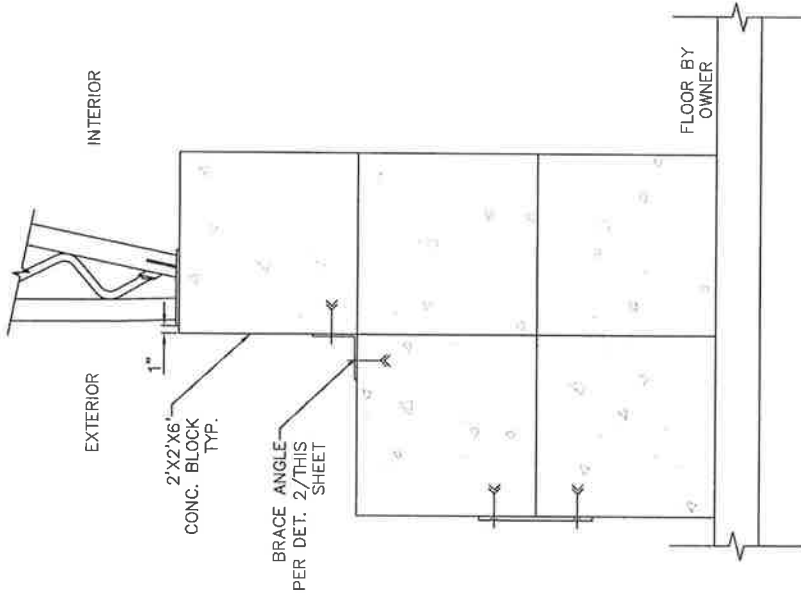
S-3 OUTER BLOCK SECTION
1



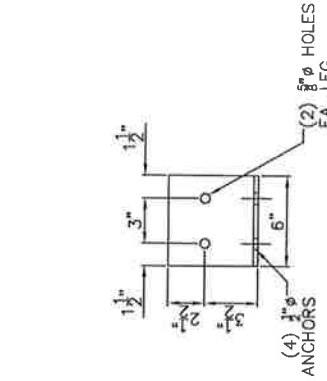
BY / REV	DESCRIPTION	DATE	APPROVED
MS 0	ISSUED FOR CONSTRUCTION	5/9/23	MSS
MS A	SPANTECH BUILDING	7/28/23	MSS

SERVINSKY ENGINEERING & ASSOCIATES Consulting Structural Engineers mpeas@servinsky.com		290 Quaker Ave. Rochester, VT 05602-4695 (616) 738-1281 Fax: (616) 738-6281	
EAGLE ASSOCIATES OF CAZENOVIA, LLC 3592 COBBLESTONE DRIVE CAZENOVIA, NY 13035		PROJECT NO. EAS.23.008	
ADDISON COUNTY		SCALE: 3/32" = 1'-0"	
SIDEWALL ELEVATION		SHEET NO. S-4	
RIPTON, VT		SHEET SIZE: B	

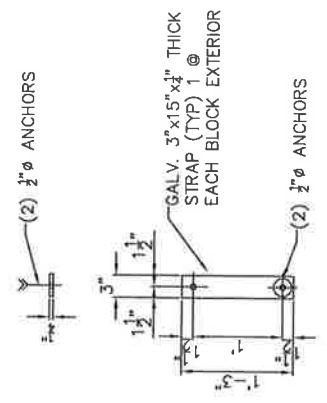
S-4 OUTER BLOCK SECTION
1



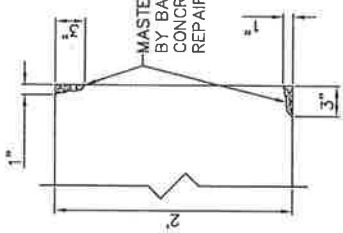
S-5 CONC. BLOCK DETAIL
SCALE: 3/4" = 1'-0"



S-5 BRACE ANGLE DETAIL
SCALE: 1-1/2" = 1'-0"



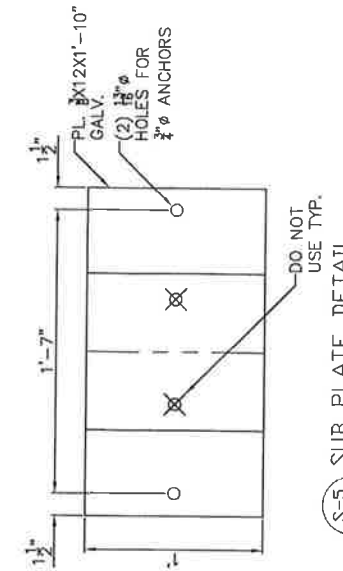
S-5 STRAP DETAIL
SCALE: 3/4" = 1'



S-5 SPALL REPAIR
SCALE: 1" = 1'-0"



S-5 SUB PLATE DETAIL
SCALE: 1-1/2" = 1'-0"



S-5 SUB PLATE DETAIL
SCALE: 1-1/2" = 1'-0"

BY	REV	DESCRIPTION	DATE	APPROVED
MS	0	ISSUED FOR CONSTRUCTION	5/19/23	MSS
MS	A	SPANTECH BUILDING	7/26/23	MSS

SERVINSKY ENGINEERING & ASSOCIATES
Consulting Structural Engineers
mcs@servinsky.com

280 Douglas Ave
Holland, MI 49424-6515
(616) 738-1281
Fax: (616) 738-6281

EAGLE ASSOCIATES OF CAZENOVIA, LLC
3592 COBBLESTONE DRIVE
CAZENOVIA, NY 13035

MISC. DETAILS

ADDISON COUNTY

RIPTON, VT

SCALE: 1" = 1'-0"

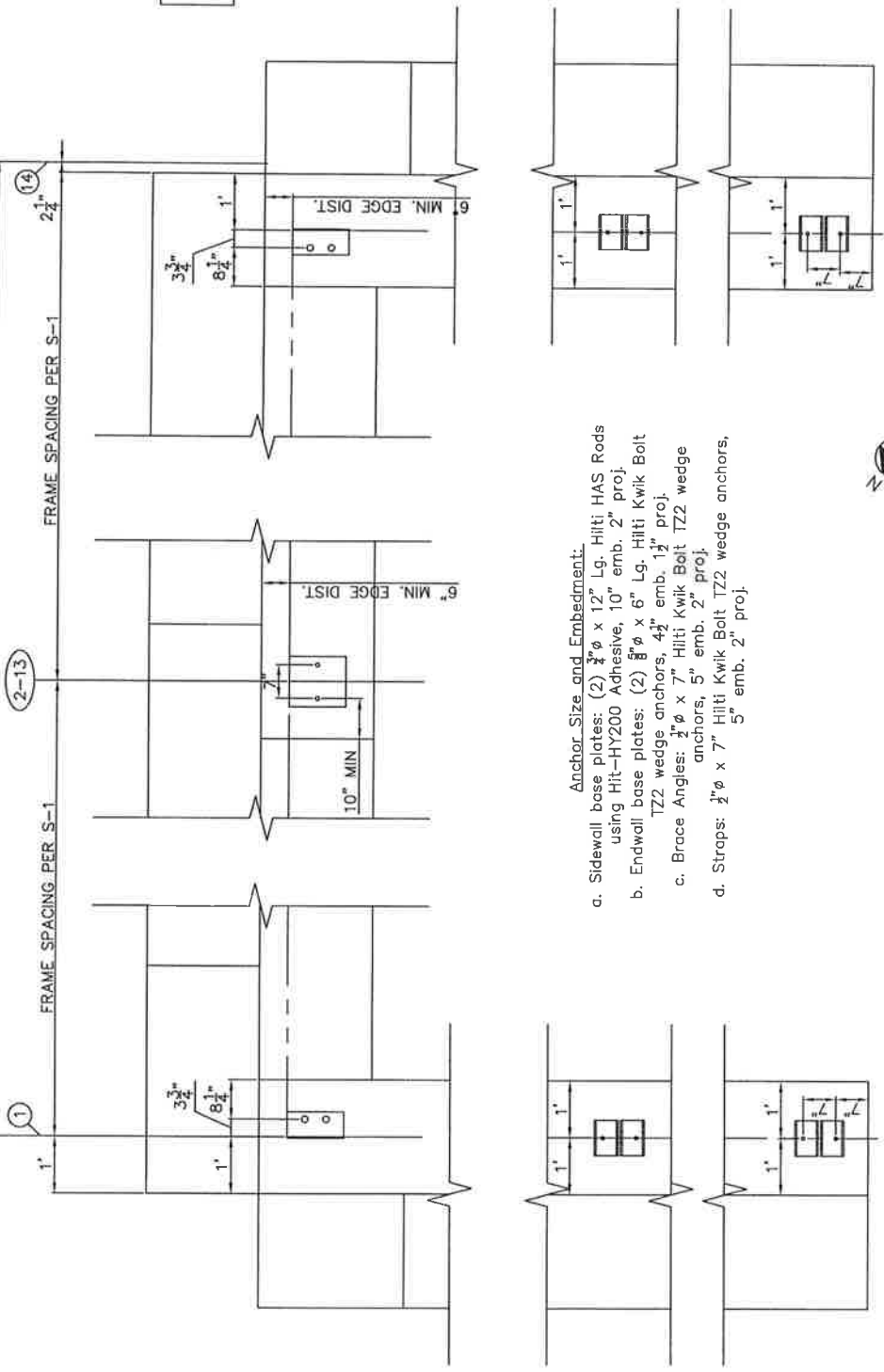
DWG NO. EAS.23.008

SHEET NO. S-5

SHEET SIZE: B



140' C-C TRUSSES



- Anchor Size and Embedment:**
- a. Sidewall base plates: (2) $\frac{3}{4}$ " ϕ x 12" Lg. Hilti HAS Rods using Hit-HY200 Adhesive, 10" emb, 2" proj.
 - b. Endwall base plates: (2) $\frac{3}{4}$ " ϕ x 6" Lg. Hilti Kwik Bolt TZZ wedge anchors, 4 $\frac{1}{2}$ " emb, 1 $\frac{1}{2}$ " proj.
 - c. Brace Angles: $\frac{3}{4}$ " ϕ x 7" Hilti Kwik Bolt TZZ wedge anchors, 5" emb, 2" proj.
 - d. Straps: $\frac{3}{4}$ " ϕ x 7" Hilti Kwik Bolt TZZ wedge anchors, 5" emb, 2" proj.



OPPOSITE SIDEWALL IS MIRROR IMAGE

REFER TO BRITESPAN DRAWINGS FOR BASE PLATE INFORMATION



REVISIONS		APPROVED	DATE	ISSUED FOR CONSTRUCTION
MS	D		5/9/23	MSS
MS	A		7/28/23	MSS

SERVINSKY ENGINEERING & ASSOCIATES Consulting Structural Engineers maple@servinsky.com		280 Douglas Ave Holland, MI 49424-6915 (616) 728-1281 Fax (616) 728-9281	
EAGLE ASSOCIATES OF CAZENOVIA, LLC 3592 COBBLESTONE DRIVE CAZENOVIA, NY 13035		ANCHOR AND BASE PLATE DETAILS	
ADDISON COUNTY		RIPTON, VT	
SCALE: 1/2" = 1'-0"	DWG. NO.: EAS.23.008	SHEET NO.: S-6	SHEET SIZE: B

SITE LOCATION, BUILDING SIZE, AND OCCUPANCY

Project Location:
Town of Ripton,
685 Lincoln Road (approx. address),
Ripton, VT 05786;
Addison County

Building Size: 72' x 140'; 10,080 Square Feet

GENERAL

Building Use: Salt/Sand Storage
Use Group: S-2 low hazard storage
Construction Type: VB—Membrane Fabric Building
with FR Fabric
Occupant Load: Calculated & Actual = 0

A. GENERAL REQUIREMENTS

- All work shall be done per OSHA standards and regulations.
- Obtain prior approval from Owner when substituting materials or equipment.
- Work shall conform to all governing codes.
- Establish locations of underground utilities (provided by others).

B. EARTHWORK AND DRAINAGE

- Cap off or plug discontinued utilities in excavations and remove from site.
- When required by site drawings, provide drain pipe to divert storm water and roof drainage away from foundation.
- Backfill shall be clean, granular backfill compacted per this specification.
- Compact to 95 percent of maximum dry density per ASTM D-1557 Modified Proctor Density Test.
- Compact fill in 8 inch lifts.
- Remove unsuitable clay, topsoil, organic material or unsuitable materials to firm soil. Provide structural fill or gravel necessary.

- See civil site plan for grading beyond the building limits.
- If rock is encountered during excavation, contact Engineer before proceeding with work.
- Follow OSHA regulations and local codes for excavations.

C. CONCRETE FOR PRECAST BLOCKS

- 28 day minimum compressive strength: 2000 psi minimum.
- Precast blocks to be 2 feet x 2 feet x 6 feet long, unless noted on drawings. Local precast supplier to form and pour blocks using industry accepted standards and quality control methods.
- Prevent spalling or honeycombing of concrete in precast blocks.
- Repair any spalled areas of blocks with EMACO S488 by BASF Company. Spalls are identified as broken concrete edges 1"x3" or larger size. See detail on drawings.

D. FDN. DESIGN BEARING CAPACITY & SOIL BORINGS

- Design Bearing Capacity = 2000 psf. (presumptive) per IBC, granular materials.
- No Geotechnical report is available.

E. ANCHOR BOLTS

Hilti Anchor Specifications: Hot-dipped galvanized

- Anchor Size and Embedment:
 - Sidewall base plates: (2) $\frac{3}{4}$ " ϕ x 12" Lg. Hilti HAS Rods using Hit-HY200 Adhesive, 10" emb. 2" proj.
 - Endwall base plates: (2) $\frac{3}{4}$ " ϕ x 6" Lg. Hilti Kwik Bolt TZ2 wedge anchors. 4 $\frac{1}{2}$ " emb. 1 $\frac{1}{2}$ " proj.
 - Brace Angles: $\frac{3}{4}$ " ϕ x 7" Hilti Kwik Bolt TZ2 wedge anchors, 5" emb. 2" proj.
 - Straps: $\frac{3}{4}$ " ϕ x 7" Hilti Kwik Bolt TZ2 wedge anchors, 5" emb. 2" proj.
- All anchors hot-dipped galvanized.

E. SPANTECH BUILDING

- Building specifications are per SpanTech Fabric Building Systems, under separate submittal.

G. FOUNDATION REACTIONS AT TOP OF WALL—BLOCKS

Unfactored Reactions Endwall Wind Columns (posts)
 5.9 kips Up Wind — 2.8 kips Horizontal EC1
 12.0 kips Down 1.4 kips Horizontal EC2
 6.8 kips Horizontal

H. SURVEY

Refer to survey information provided by Owner.

I. BOLLARDS

- Optional Bollards by Owner.
- Servinsky Engineering & Associates is not responsible for vehicle impact to buildings.

These specifications are for foundation and earthwork only. The Contractor(s) are responsible for proper venting, mechanical, plumbing, and electrical requirements of the building.

BY / REV	DESCRIPTION	DATE	APPROVED
MS D	ISSUED FOR CONSTRUCTION	5/8/23	WSS
HKL A	GENERAL UPDATE	6/8/23	WSS
MS B	SPANTECH BUILDING	7/29/23	WSS

SERVINSKY ENGINEERING & ASSOCIATES
 Consulting Structural Engineers
 280 Douglas Ave
 Holland, MI 49424-6515
 (616) 738-1281
 Fax: (616) 738-6281
 ms@servinskyengineering.com

EAGLE ASSOCIATES OF CAZENOVIA, LLC
 3592 COBBLESTONE DRIVE
 CAZENOVIA, NY 13035

SPECIFICATIONS

ADDISON COUNTY RIPTON, VT

SCALE: Custom DWG NO: EAS-23.008 SHEET NO: S-7 SHEET SIZE: B



Ripton Sand & Salt Shed Project Ripton STP MM 19(18)

January 3, 2023

Bid Form

Bidder acknowledges receipt of the following Addenda:

Addenda #1 - 2/7/23

Bidder agrees to perform all the Work described in the Contract Documents for the following schedule of prices. Unqualified bids will not be accepted.

VTrans ITEM #	ITEM	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE	
201.10	Clearing and Grubbing, Including Individual Trees and Stumps	LS	1	\$ <u>15,610.13</u>	\$ <u>15,610.13</u>	
	Unit Price in Words	<u>Fifteen thousand six hundred ten and 13/100 dollars</u>				
201.15	Removing Medium Trees	EA	24	\$ <u>119.03</u>	\$ <u>2,856.60</u>	2,856.72
	Unit Price in Words	<u>One Hundred Nineteen Dollars and Three Cents</u>				
203.15	Common Excavation	CY	1090	\$ <u>29.58</u>	\$ <u>32,246.19</u>	31,246.20
	Unit Price in Words	<u>Twenty-Nine Dollars and Fifty-Eight Cents</u>				
203.32	Granular Borrow	CY	320	\$ <u>53.29</u>	\$ <u>17,053.90</u>	17,052.80
	Unit Price in Words	<u>Fifty-Three Dollars and Twenty-Nine Cents</u>				
204.20	Trench Excavation of Earth	CY	27	\$ <u>137.83</u>	\$ <u>3,721.44</u>	3,721.41
	Unit Price in Words	<u>One Hundred Thirty-Seven Dollars and Eighty-Three Cents</u>				
301.25	Subbase of Crushed Gravel, Coarse Graded	CY	811	\$ <u>65.07</u>	\$ <u>52,772.55</u>	52,771.77
	Unit Price in Words	<u>Sixty-Five Dollars and Seven Cents</u>				
406.35	Superpave Bituminous Concrete Pavement	TONS	438	\$ <u>204.56</u>	\$ <u>89,595.69</u>	89,597.28
	Unit Price in Words	<u>Two Hundred Four Dollars and Fifty-Six Cents</u>				
608.30	Power Broom Rental, Type I	HR	8	\$ <u>204.58</u>	\$ <u>1,636.64</u>	
	Unit Price in Words	<u>Two Hundred Four Dollars and Fifty-Eight Cents</u>				

Ripton Sand & Salt Shed Project Ripton STP MM 19(18)

January 3, 2023

Bid Form

609.10	Dust Control with Water	MGAL	0.5	\$ <u>1,190.25</u>	\$ <u>595.13</u>	
	Unit Price in Words <u>One Thousand One Hundred Ninety Dollars and Twenty-Five Cents</u>					
613.10	Stone Fill, Type I	CY	15	\$ <u>222.18</u>	\$ <u>3,332.70</u>	
	Unit Price in Words <u>Two Hundred Twenty-Two Dollars and Eighteen Cents</u>					
630.15	Flaggers	HR	80	\$ <u>68.44</u>	\$ <u>5,475.15</u>	5,975.20
	Unit Price in Words <u>Sixty-Eight Dollars and Forty-Four Cents</u>					
635.11	Mobilization / Demobilization					
		LS	1	\$ <u>3,570.75</u>	\$ <u>3,570.75</u>	
	Unit Price in Words <u>Three thousand five hundred seventy and 75/100 dollars</u>					
641.10	Traffic Control, All-Inclusive	LS	1	\$ <u>2,380.50</u>	\$ <u>2,380.50</u>	
	Unit Price in Words <u>Two thousand three hundred eighty and 50/100 dollars</u>					
649.11	Geotextile For Roadbed Separator					
		SY	1947	\$ <u>3.04</u>	\$ <u>5,909.41</u>	5,918.88
	Unit Price in Words <u>Three Dollars and Four Cents</u>					
649.31	Geotextile Under Stone Fill					
		SY	31	\$ <u>22.08</u>	\$ <u>684.45</u>	684.48
	Unit Price in Words <u>Twenty-Two Dollars and Eight Cents</u>					
649.61	Geotextile For Filter Curtain					
		SY	77	\$ <u>22.40</u>	\$ <u>1,724.84</u>	1,724.80
	Unit price in Words <u>Twenty-Two Dollars and Forty Cents</u>					
651.15	Seed	LB	32	\$ <u>14.51</u>	\$ <u>464.20</u>	464.22
	Unit Price in Words <u>Fourteen Dollars and Fifty-One Cents</u>					
651.18	Fertilizer	LB	132	\$ <u>3.16</u>	\$ <u>416.59</u>	417.12
	Unit Price in Words <u>Three Dollars and Sixteen Cents</u>					

Ripton Sand & Salt Shed Project Ripton STP MM 19(18)

January 3, 2023

Bid Form

651.20	Agricultural Limestone	Ton	0.1	\$ <u>1,190.25</u>	\$ <u>119.03</u>	
	Unit Price in Words <u>One Thousand One hundred Ninety Dollars and Twenty-Five Cents</u>					
651.35	Topsoil	CY	140	\$ <u>167.30</u>	\$ <u>23,422.22</u>	23,422.00
	Unit Price in Words <u>One Hundred Sixty-Seven Dollars and Thirty Cents</u>					
653.02	Monitoring EPSC Plan	HR	8	\$ <u>68.44</u>	\$ <u>547.52</u>	
	Unit Price in Words <u>Sixy-Eight Dollars and Forty-four Cents</u>					
653.10	Hay Mulch	Ton	0.5	\$ <u>2,035.33</u>	\$ <u>1,017.66</u>	1,017.07
	Unit Price in Words <u>Two thousand Thirty-Five Dollars and Thirty-Three Cents</u>					
653.20	Rolled Erosion Control Product, Type I	SY	185	\$ <u>5.52</u>	\$ <u>1,021.71</u>	1,021.20
	Unit Price in Words <u>Five Dollars and 52 Cents</u>					
653.35	Stabilized Construction Entrance	CY	31	\$ <u>71.42</u>	\$ <u>2,213.87</u>	2,214.02
	Unit Price in Words <u>Seventy-One Dollars and Forty-two Cents</u>					
653.55	Project Demarcation Fence	LF	781	\$ <u>1.29</u>	\$ <u>1,003.95</u>	1,007.49
	Unit price in Words <u>One Dollar and Twenty-Nine Cents</u>					
656.20	Evergreen Trees	EA	10	\$ <u>1,097.71</u>	\$ <u>10,977.08</u>	10,977.10
	Unit Price in Words <u>One thousand ninety seven Dollars and Seventy-one Cents</u>					
656.85	Tree Protection	LS	1	\$ <u>595.13</u>	\$ <u>595.13</u>	
	Unit Price in Words <u>Five hundred ninety-five and 13/100 dollars</u>					
678.23	Wired Conduit	LF	126	\$ <u>31.26</u>	\$ <u>3,938.54</u>	3,938.76
	Unit Price in Words <u>Thirty-one Dollars and Twenty-six Cents</u>					
900.62	Special Provision (Light Pole & Luminaire Assembly)	EA	1	\$ <u>9,782.86</u>	\$ <u>9,782.86</u>	
	Unit Price in Words <u>Nine thousand seven hundred eighty-two and 86/100 dollars</u>					

Ripton Sand & Salt Shed Project Ripton STP MM 19(18)

January 3, 2023

Bid Form

900.645 Special Provision (Salt & Sand Shed)

LS 1 \$ 575,041.59 \$ 575,041.59

Unit Price in Words Five hundred seventy-five thousand forty-one and 59/100 dollars

Total Base Bid \$ 869,728.00 \$869,737.19

Total Base Bid Written: Eight hundred sixty-nine thousand seven hundred twenty-eight and 00/100 dollars

The lowest responsive and responsible bidder will be determined by the Total Base Bid.

The above unit prices shall include all labor, materials, removal, overhead, profit, insurance, etc. to cover the finished work as specified within the Contract Documents.

By submitting this bid, a bidder certifies that it shall report in writing to the municipality any errors or inconsistency discovered in the plans, proposal, specifications, or proposal documents immediately upon discovery.

THE ABOVE PROPOSAL IS HEREBY RESPECTFULLY SUBMITTED BY:

Millbrook Building & Remodeling, Inc.

Contractor

David L. Pratt

By

President

Title

P.O Box 526

Business Address

Essex Jct.,

VT

City

State

February 17, 2023

Date

ATTEST

BID

869,737.19

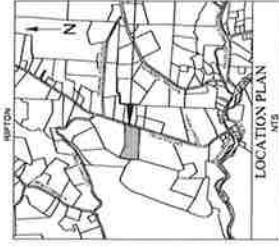
147,423.69

REQUEST FOR ADDITIONAL
COMPENSATION (AUG 2023)

1,017,160.88

TOWN OF RIPTON COUNTY OF ADDISON SAND AND SALT SHED PROJECT RIPTON STP MM 19(18)

LOCATED ON A PARCEL OF LAND ADJACENT TO THE RIPTON ELEMENTARY SCHOOL PROPERTY, AT 643 LINCOLN ROAD
 WORK TO BE PERFORMED UNDER THIS CONTRACT INCLUDES THE CONSTRUCTION OF A NEW 72' WIDE BY 140' LONG SAND AND SALT SHED WITH RELATED SITEWORK, INCLUDING A NEW PAVED DRIVEWAY AND STORMWATER IMPROVEMENTS.



INDEX OF SHEETS

- 1. TITLE SHEET
- 2. CONVENTIONAL SYMBOLOLOGY LEGEND
- 3A. SITEWORK DETAILS & GENERAL SPECIFICATIONS
- 3. EPSC DETAILS AND SPECIFICATIONS
- 4. SAND & SALT SHED DETAILS
- 5. SAND & SALT SHED DETAILS
- 6. EPSC SITE PLAN
- 7. TRAFFIC CONTROL PLAN
- 8. ELECTRICAL NOTES, LEGENDS, RISERS AND DETAILS
- 9. ELECTRICAL DETAILS

STANDARD SHEETS

- B-71. STANDARD FOR RESIDENTIAL AND COMMERCIAL DRIVES
- B-72. TREE PLANTING DETAILS
- E-10. STABILIZED CONSTRUCTION ENTRANCE
- E-12. STABILIZED CONSTRUCTION ENTRANCE
- E-15. SILT FENCE
- T-1. WEIR
- T-2. TRAFFIC CONTROL
- T-3. TRAFFIC CONTROL
- T-4. CONVENTIONAL ROADS CONSTRUCTION APPROACH SIGNING
- T-5. CONSTRUCTION SIGN DETAILS
- T-30. CONSTRUCTION SIGN DETAILS
- T-35. CONSTRUCTION ZONE LONGITUDINAL DROP-OFFS

NOTES:

1. THESE PLANS ARE SUBJECT TO SUCH ENGINEERING CHANGES AS MAY BE REQUIRED BY THE FEDERAL HIGHWAY ADMINISTRATION OR THE VERMONT HIGHWAY DEPARTMENT. ANY CHANGES SHALL BE MADE IN ACCORDANCE WITH THESE PLANS AND THE VTRANS STANDARD SPECIFICATIONS FOR CONSTRUCTION 2018, AS APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION ON APRIL 2018 FOR USE ON THIS PROJECT, INCLUDING ALL SUBSEQUENT REVISIONS AND SUCH REVISED SPECIFICATIONS AND SPECIAL PROVISIONS INCORPORATED IN THESE PLANS.
2. INDIVIDUAL PROPERTY LINES WERE LOCATED BASED ON FOUND EVIDENCE AND TOWN PARCEL MAPPING.
3. LINES SHOWN ON THESE PLANS AS EXISTING PROPERTY LINES ARE BELIEVED TO BE ACCURATE BUT SHOULD NOT BE RELIED UPON FOR ANY PURPOSES UNRELATED TO THE ACQUISITION OF LANDS AND RIGHTS FOR THIS PROJECT.



**CONTRACT PLANS
NOVEMBER, 2022**

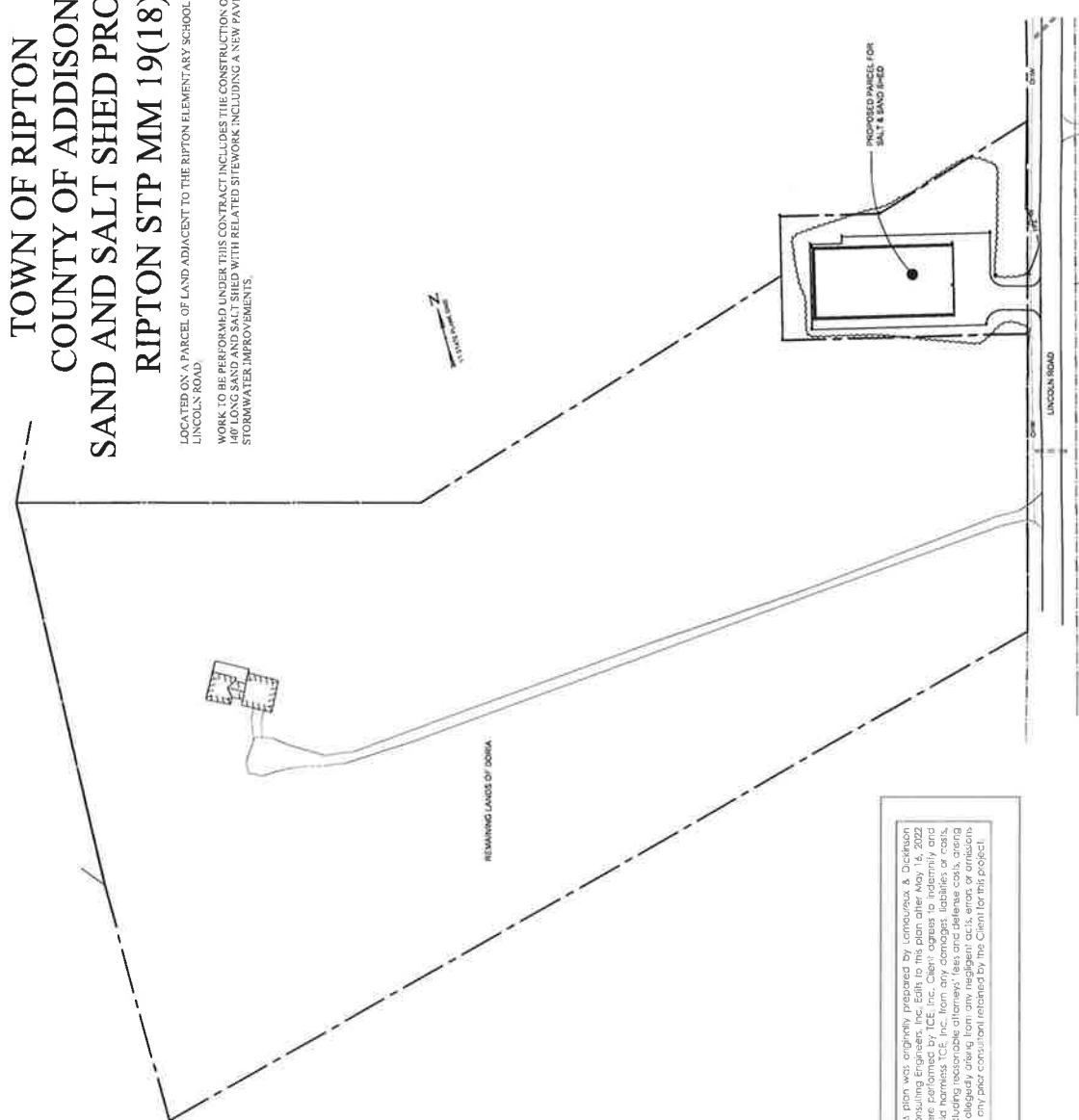
TITLE SHEET

RIPTON STP MM 19(18)

LD Lamoureux & Dickinson
 Consulting Engineers, Inc.
 14 Montpelier Drive, Essex, VT 05432
 802.874.4450 www.LDengineering.com

PROJECT NUMBER: 1909
 DRAWN BY: [Name]
 CHECKED BY: DGDR

SHEET 1



This plan was originally prepared by Lamoureux & Dickinson Consulting Engineers, Inc. 802.874.4450 on or after May 16, 2022. The plan was revised on or after May 16, 2022. The plan was prepared by Lamoureux & Dickinson Consulting Engineers, Inc. and includes the professional seal of the engineer. The engineer is not responsible for any errors or omissions, including reasonable attorneys' fees and defense costs, arising or allegedly arising from any negligent acts, errors or omissions by any other consultant retained by the Client for this project.

QUALITY ASSURANCE PROGRAM: LEVEL 3
SURVEYED BY: LAMOUREUX & DICKINSON
SURVEYED DATE: 2019
DATUM
VERTICAL: NAVD 1988
HORIZONTAL: NAD 1983

LEGEND

	RIGHT-OF-WAY BOUNDARY LINE		NEW UTILITIES
	PROPERTY BOUNDARY LINE		SURVEY CONTROL POINT
	EXISTING FENCE		EXISTING SIGN
	EXISTING CATCH BASIN & STORM PIPES		NEW SIGN
	UTILITY POLE WITH GUY WIRE & OVERHEAD WIRES		PROPERTY CORNER DIMENSION, FOUND
	EXISTING GROUND CONTOUR		EXISTING TREES/SHRUB
	PROPOSED FINISH GRADE CONTOUR		NEW PAVEMENT
	PRODUCT DEMARCATION FENCE		
	TREE PROTECTION ZONE		
	STONE LINED SWALES/PALWAY		
	SILT FENCE		
	NEW EXTERIOR LUMINAIRE		
	TREE CLEARING LIMITS		
	WETLAND BUFFER EDGE		
	WETLAND		



CONTRACT PLANS
NOVEMBER, 2022

This plan was originally prepared by Lamouroux & Dickinson Consulting Engineers, Inc. Edits to this plan after May 14, 2022 were performed by TCE, Inc. Client agrees to indemnify and hold harmless TCE, Inc. from any damages, liabilities or costs, including reasonable attorney's fees and defense costs, arising from any claims or lawsuits, in whole or in part, that may be brought against Lamouroux & Dickinson Consulting Engineers, Inc. by any paid consultant retained by the Client for this project.

CONVENTIONAL SYMBOLOLOGY-LEGEND

RIPTON STP MM 19(18)



Lamouroux & Dickinson
 Consulting Engineers, Inc.
 14 Mead Drive, East, VT 05452
 802-871-4400 www.LDengineering.com

LEO PROJECT NUMBER: 19029
 CHECKED BY: DGRD

QUANTITY SHEET 1

SUMMARY OF ESTIMATED QUANTITIES				TOTALS				DESCRIPTORS				DETAILED SUMMARY OF QUANTITIES				
Facility	Gravel Equival	Factor - Non-Permeable	Gravel Total	Final	Unit	Item #	Item Name	Item #	Unit	Item #	Item Name	Item #	Unit	Item #	Item Name	
1			1		LS	201.10	CLARING AND GRUBBING, INCLUDING REMOVAL OF TREES AND STUMPS									
24			24		BACH	201.15	REMOVING MEDIUM TREES									
1090			1090		CY	203.15	COMMON EXCAVATION									
320			320		CY	203.32	DRAINAGE ROOFING									
27			27		CY	204.25	TRUCK UNLOADING OF SAND									
811			811		CY	301.26	SUBBASE OF CLEARED GRAVEL, COURSE GRADED									
438			438		TON	400.35	SUPERPAVE BITUMINOUS CONCRETE PAVEMENT									
1			1		LU	409.50	PRICE ADJUSTMENT ASPHALT CEMENT (A.A.B.I.)									
8			8		HR	609.32	POWER BIOMATERIAL, TYPE I									
0.5			0.5		MGAL	609.19	DUST CONTROL WITH WATER									
15			15		CY	813.12	STONE FILL, TYPE I									
80			80		HR	830.15	FLAGGERS									
1			1		LS	835.11	MOBILE TOYONMOBILE TON									
1			1		LS	841.11	TRAFFIC CONTROL, ALL-INCLUSIVE									
1347			1347		SY	849.11	GEOTEXTILE FOR ROADBED SEPARATION									
31			31		SY	849.31	GEOTEXTILE UNDER STONE FILL									
77			77		LS	849.81	SEED									
22			22		LS	851.15	FERTILIZER									
132			132		LS	851.18	AGRICULTURAL LIMESTONE									
0.1			0.1		TON	851.25	TOPSOIL									
340			340		CY	851.35	TOPSOIL									
8			8		HR	853.02	MONITORING EROSION PLAN									
0.5			0.5		TON	853.19	HAY MULCH									
185			185		SY	853.20	ROLLED PROVISION CONTROL PRODUKT, TYPE I									
21			21		CY	853.35	STABILIZED CONSTRUCTION ENTRANCE									
781			781		LF	853.55	PROJECT DEMARCATION FENCE									
10		10	10		EACH	856.20	ENVIRONMENTAL TREE									
1			1		LS	856.45	TREE PROTECTION									
126			126		LF	872.21	WEED CONTROL									
1			1		EACH	900.820	SPECIAL PROVISION LIGHT POLE & LUMINAIRE ASSEMBLY									
1			1		LS	900.645	SPECIAL PROVISION SIGN & SIGN SHEET									



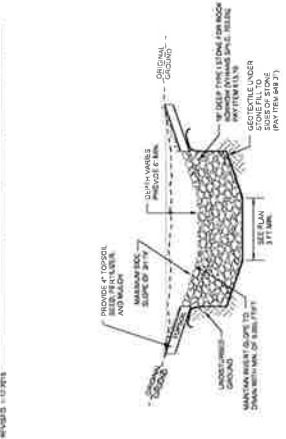
GENERAL CONSTRUCTION SPECIFICATIONS

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS UNIFORM TRAFFIC CONTROL DEVICES (2009 EDITION) AND THESE PLANS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES BEFORE EXCAVATION TO VERIFY THE LOCATION OF ANY UNDERGROUND LINES.
3. UTILITIES IN CONVICTION FROM HEREON WHICH WERE OBTAINED FROM BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BEFORE EXCAVATION. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. THE CONTRACTOR SHALL CONNECT OR REPAIR ANY UTILITIES IN CONVICTION WITH UTILITY OWNERS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A HAZARD TO THE PUBLIC AND SHALL MAINTAIN THE DRIVEWAY AND DRIVEWAY ADJACENT AREAS WITH A COVER BROUGHT TO THE STREET.

TURF ESTABLISHMENT SPECIFICATIONS

1. USE MOST RURAL AREA SEED MIX AS INDICATED BELOW FOR ALL NON-PAVED AREAS DISTURBED BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL PERFORM A SOIL TEST OF THE SUBJECT TOWNSHIP AND SUBMIT IT TO THE ENGINEER FOR APPROVAL AS PER VERMONT SPECIFICATIONS. ONLY APPROVED TOPSOILS SHALL BE USED FOR REPAIRS. THE CONTRACTOR SHALL ONLY BE APPLIED IF THE RESULTS OF THE SOIL TEST INDICATES THE NEED FOR THEM.
3. MAY MULCH: TO BE PLACED ON EARTH SURFACES AT THE RATE OF 2 TONS/ACRE, ACHIEVE 5% GROUND COVER OR AS DIRECTED BY THE ENGINEER. PAID AS ITEM 653.1G.
4. APPROVED TOPSOIL: TO BE USED AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER. PAID AS ITEM 651.3G.
5. TURF ESTABLISHMENT: SEED, FERTILIZER, LIME AND MULCH SHALL BE PLACED BETWEEN APRIL 15 AND SEPTEMBER 15 TO ENSURE A VIGOROUS GROWTH OF GRASS.

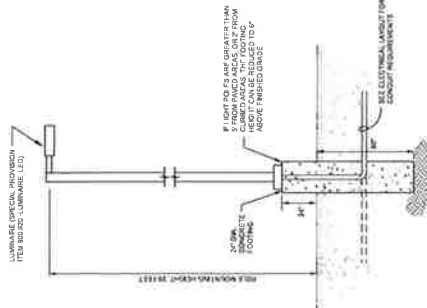
NAME	SCIENTIFIC NAME	PLANTING METHOD	SEED WEIGHT	PROPAGATION	ESTIMATED SEED PURCH	PERCENT
CELRING RED PEGOLE	Festuca ovina	SEED	3.75% (45)	80%	30%	10%
PRYING RED PEGOLE	Festuca ovina	SEED	3.75% (45)	80%	30%	10%
PRYING RED PEGOLE	Festuca ovina	SEED	3.75% (45)	80%	30%	10%
PRYING RED PEGOLE	Festuca ovina	SEED	3.75% (45)	80%	30%	10%
PRYING RED PEGOLE	Festuca ovina	SEED	3.75% (45)	80%	30%	10%
TOTAL			15.00%	80%	30%	10%



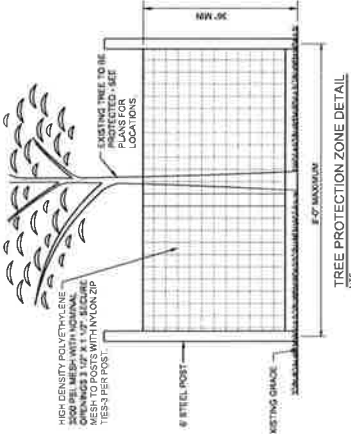
TYPICAL STONE LINED SPILLWAY

TREE AND PLANT PROTECTION

1. PRIOR TO THE START OF CONSTRUCTION, INSTALL TEMPORARY TREE PROTECTION ZONE (TPZ) FENCE IN ACCORDANCE WITH THE VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS UNIFORM TRAFFIC CONTROL DEVICES (2009 EDITION) AND THESE PLANS.
2. TOP FENCE SHALL PROTECT EXISTING TREES, BURLAP OR OTHER VEGETATION FROM COLLAPSE OR CONSTRUCTION AGAINST CUTTING, BREAKING OR SKIPPING OF ROOTS, SKINNING AND BRUISING OF BARK, FOOT OR VEHICULAR TRAFFIC, AND PARKING OF VEHICLES.
3. WHERE TEMPORARY CLEARANCE IS NEEDED DURING CONSTRUCTION THAT MAY CONFLICT WITH EXISTING TREES, BRUSHES SHALL BE TIED BACK TO HOLD THEM OUT OF THE CLEARANCE ZONE.
4. WHEN EXCAVATION IS TO OCCUR IN CLOSE PROXIMITY TO EXISTING TREES, ROOT PRUNING SHALL BE DONE IN ACCORDANCE WITH THE VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS UNIFORM TRAFFIC CONTROL DEVICES (2009 EDITION) AND THESE PLANS.
5. ROOTS ENCOUNTERED DURING EXCAVATION IN THE VICINITY OF TREE PROTECTION ZONES SHALL BE CLEANLY CUT AND PROTECTED DURING CONSTRUCTION OPERATIONS. TEMPORARILY COVER EXPOSED ROOTS WITH A DOUBLE LAYER OF DAMPENED BURLAP TO PREVENT ROOTS FROM DRYING OUT UNTIL THEY CAN BE COVERED WITH SOIL. COVER VEGETATION WITH SOIL AS SOON AS POSSIBLE, REMOVING BURLAP FIRST.
6. WATER EXISTING TREES AND OTHER VEGETATION TO REMAIN WITHIN LIMITS OF CONSTRUCTION WORK AS APPOINTED BY THE ENGINEER TO PREVENT THE COURSE OF CONSTRUCTION OPERATIONS.
7. PRUNING OF EXISTING TREES, AS IDENTIFIED ON THE PLANS, SHALL BE IN ACCORDANCE WITH THE VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS UNIFORM TRAFFIC CONTROL DEVICES (2009 EDITION) AND THESE PLANS.
8. IF UNDERGROUND UTILITIES MUST TRANSVERSE THE PROTECTION AREA, THEY SHALL BE TUNNELED OR BORED UNDER THE TREE.
9. REMOVE TEMPORARY PROTECTION DEVICES AND FACILITIES INSTALLED DURING COURSE OF WORK AFTER COMPLETION OF ALL WORK AND RESTORE PLANT PROTECTION AREAS TO THEIR ORIGINAL CONDITION.

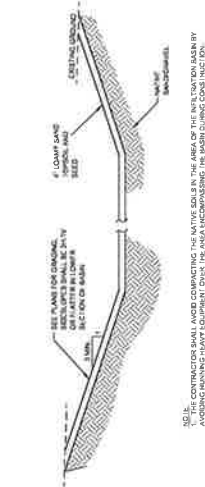


POLE MOUNTED LUMINAIRE DETAIL



TREE PROTECTION ZONE DETAIL

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STORMWATER INFILTRATION BASIN

THE CONTRACTOR SHALL AVOID COMPACTING THE NATIVE SOILS IN THE AREA OF THE INFILTRATION BASIN BY AVOIDING EXCESSIVE TRAFFIC OVER THE AREA. THE CONTRACTOR SHALL AVOID COMPACTING THE NATIVE SOILS IN THE AREA OF THE INFILTRATION BASIN BY AVOIDING EXCESSIVE TRAFFIC OVER THE AREA.



CONTRACT PLANS
NOVEMBER, 2022

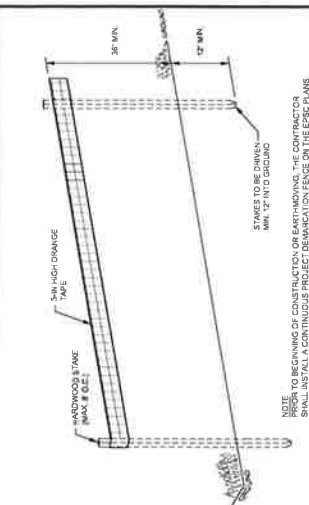
SITework DETAILS & SPECIFICATIONS

RIPTON STP MM 19(18)

L Lamoureux & Dickson
Consulting Engineers, Inc.
44 Morse Drive, Essex, VT 05532
CHECKED BY DGRO
DRAWN BY LLD
LAD PROJECT NUMBER: 19279
SHEET 3

TYPICAL PAVEMENT AREA CROSS SECTION

NOTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SUBGRADE IS SUFFICIENT TO SUPPORT THE PROPOSED PAVEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SUBGRADE IS SUFFICIENT TO SUPPORT THE PROPOSED PAVEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE SUBGRADE IS SUFFICIENT TO SUPPORT THE PROPOSED PAVEMENT.



PROJECT DEMARCATION FENCE
N/S

1.4.8 STABILIZE EXPOSED SOILS DURING CONSTRUCTION
 MAJOR MEASURES SPECIFIC TO WINTER MAY BE NECESSARY SHOULD THE PROJECT EXTEND INTO THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15). REFER TO THE LOW RISK SITE HANDBOOK FOR GUIDANCE.
 SURFACE ROUGHENING OF ALL EXPOSED SLOPES COMBINED WITH TEMPORARY MULCHING, SHALL BE UTILIZED ON A REGULAR BASIS. BIODEGRADABLE EROSION CONTROL MATTING OR AN EQUIVALENT SHALL BE USED TO STABILIZE ALL SLOPES STEEPER THAN 1:3.

1.4.9 WINTER STABILIZATION
 MAJOR MEASURES SPECIFIC TO WINTER MAY BE NECESSARY SHOULD THE PROJECT EXTEND INTO THE WINTER SEASON (OCTOBER 15 THROUGH APRIL 15). REFER TO THE LOW RISK SITE HANDBOOK FOR GUIDANCE.

1.4.10 STABILIZE SOIL AT FINAL GRADE
 EXPOSED SOIL MUST BE STABILIZED WITHIN 48 HOURS OF REACHING FINAL GRADE. SEED, MULCH, FERTILIZER AND LIME SHALL BE USED TO ESTABLISH PERMANENT VEGETATION. FOR SLOPES STEEPER THAN 1:3, BIODEGRADABLE EROSION CONTROL MATTING OR AN EQUIVALENT SHALL BE USED INSTEAD OF MULCH. NO SLOPES GREATER THAN 1:2 ARE ANTICIPATED.

1.4.11 DE-WATERING ACTIVITIES
 DE-WATERING ACTIVITIES MUST BE DONE OFF OF THE CONSTRUCTION SITE. MUST NOT CAUSE OR CONTRIBUTE TO AN VIOLATION OF THE VERMONT WATER QUALITY STANDARDS.

1.4.12 WAREHOUSE SITE
 INSPECT THE PROJECT SITE BASED ON SPECIAL PROVISIONS REQUIREMENTS OR CONSTRUCTION GENERAL PERMIT AUTHORIZATION SITUATION.

1.4.13 SEQUENCE AND STAGING
 THIS SECTION WILL BE DEVELOPED BY THE CONTRACTOR USING THE GUIDANCE OUTLINED IN THE VTRANS EPSC PLAN CONTRACTOR CHECKLIST.

1.5.1 CONSTRUCTION SEQUENCE
 CONSTRUCTION PREVENTION AND SEDIMENT CONTROL DEVICES PRIOR TO BEGINNING CONSTRUCTION.

1.5.2 OFF-SITE ACTIVITIES
 IN ADDITION TO THE CONTRACTOR CHECKLIST ANY ACTIVITIES OUTSIDE THE CONSTRUCTION LIMITS SHALL BE IDENTIFIED AND FOLLOW SPECIFICATION 105.25-105.29 OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION.

1.5.3 UPDATES

STUMP DISPOSAL SPECIFICATIONS

- 1. THE STUMPS, BRUSH AND EXPOSED UNSTABLE EARTHWORK SHALL BE DISPOSED OF AT A STATE-APPROVED LANDFILL. ON-SITE STUMP DISPOSAL IS IMPLEMENTED, THE FOLLOWING GUIDELINES SHALL BE MET:
 1. WHENEVER POSSIBLE, STUMP DISPOSAL SITES SHOULD BE LOCATED ON NEARLY LEVEL TO MODERATELY SLOPING LANDS (SLOPES LESS THAN 12%).
 2. DISPOSAL SITES WILL NOT BE LOCATED IN OR WITHIN 100 FEET OF FLOWING WATERCOURSES OR STREAMS OR IN ACTIVELY FLOODING GULLIES.
 3. DISPOSAL SITES SHALL NOT BE LOCATED IN FLOODED OR FLOOD-PRONE LANDS, MARSHES, OR OTHER ADJACENT RECHARGE AREAS.
 4. STUMPS WILL BE PLACED ON THE SITE IN A SINGLE LIFT PRIOR TO BACKFILLING. WHEN BACKFILLING IS REQUIRED, IT SHALL BE LIMITED TO THE SAME SITE, EACH SUCCESSIVE LAYER OR LIFT OF STUMPS WILL BE BACKFILLED.
 5. STUMPS DEPOSITED IN DRAMAWAYS OR DEPRESSIONS SHALL BE BACKFILLED AND BERMED SO AS TO DIVERT OVERLAND FLOWS FROM THE DISPOSAL AREA.
 6. A MINIMUM OF TWO FEET (2') OF OVERBURDEN WILL BE PLACED OVER ALL DISPOSAL SITES.
 7. TREES CUT FOR THIS PROJECT SHALL BE HANDLED IN ACCORDANCE WITH THE EMERALD ASH BURNER SPECIAL PROVISION FOUND IN THE BID DOCUMENTS.

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1. EPSC PLAN UPGRADE
1.1 PROJECT DESCRIPTION
 THIS PROJECT INCLUDES NEW DRIVEWAY AND BUILDING CONSTRUCTION AND STORMWATER BMP CONSTRUCTION, DRAINAGE AND RELATED ITEMS. THE AREA OF DISTURBANCE INCLUDES LIMITS OF EXISTING AND PROPOSED DRIVEWAY AND RELATED ITEMS.

1.2 SITE INVENTORY
 THE TOTAL AREA OF DISTURBANCE AS SHOWN ON THE ATTACHED EPSC PLAN IS APPROXIMATELY 1.1 ACRES.
 IT IS ANTICIPATED THAT THIS PROJECT WILL LAST ONE CONSTRUCTION SEASON.

1.2.1 TOPOGRAPHY
 THE TOPOGRAPHY OF THE AREA IS MODERATE TO STEEP. RECENT TRENDS SHOW THE STORMWATER DESIGN INVOLVES GRADE CHANGES TO THE EXISTING TOPOGRAPHY.

1.2.2 DRAINAGE
 DRAINAGE WATERWAYS, BODIES OF WATER, AND PROXIMITY TO NATURAL OR MAN-MADE WATER FEATURES.

1.2.3 SOILS
 THIS PROJECT IS LOCATED IN AN UPLAND AREA WITH A DRAINAGE TOWARD THE SOUTH. STORMWATER RUNOFF CURRENTLY DRAINS TO THE WINDWARD AND TO A DEPRESSION TO THE NORTH ON THE SCHOOL PROPERTY WHERE IT INFILTRATES INTO THE WELL-DRAINED SOILS.

1.2.4 VEGETATION
 THE VEGETATION IN THE PROJECT AREA CONSISTS PRIMARILY OF MATURE TREES. THE IMPACT TO VEGETATION WILL BE LIMITED TO THAT WHICH IS AFFECTED BY CONSTRUCTION OF THE NEW DRIVE, BUILDING, AND STORMWATER FEATURES. NON-IMPACTED SURFACES WILL BE PRESERVED WITH PROPER SEED AND MULCH PRACTICES.

1.2.5 SOILS
 ALL SOIL DATA CAME FROM THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE FOR THE COUNTY OF ADDISON, VERMONT. SOILS ON THE PROJECT SITE ARE AS FOLLOWS:
 COLTON GRAVELLY SANDY LOAM, 0-3% SLOPES (FACTOR OF 0.3)

THE SOILS ARE CONSIDERED TO HAVE A LOW EROSION POTENTIAL.
 NOTE: *FACTORS, GENERALLY INDICATE THE FOLLOWING:
 0.00 - 0.25 = LOW EROSION POTENTIAL
 0.26 - 0.50 = MODERATE EROSION POTENTIAL
 0.51 - 1.00 = HIGH EROSION POTENTIAL

1.2.6 SENSITIVE RESOURCE AREAS
 CRITICAL HABITATS, NO CORPUS AREAS, NO ARCHAEOLOGICAL, PRIME AGRICULTURAL LAND, THE COLTON SOILS ARE CONSIDERED STATEWIDE AG SOILS, WETLANDS, AND FRESHWATER FISH AND WILDLIFE HABITAT.

1.2.7 WETLANDS AND FRESHWATER FISH AND WILDLIFE HABITAT
 THERE ARE NO WETLANDS OR FRESHWATER FISH AND WILDLIFE HABITAT AREAS ON THE PROJECT SITE.

1.2.8 WETLANDS AND FRESHWATER FISH AND WILDLIFE HABITAT
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EPSC DETAILS & SPECIFICATIONS

CONTRACT PLANS
NOVEMBER, 2022

RIPTON STP MM 19(18)

Lamoureux & Dickinson
Consulting Engineers, Inc.
14 Main Drive, East, VT 05432
802-878-4501 www.LDengineering.com

SHEET 4

180 PROJECT NUMBER: 19029
DRAWN BY: LD
CHECKED BY: DGDR

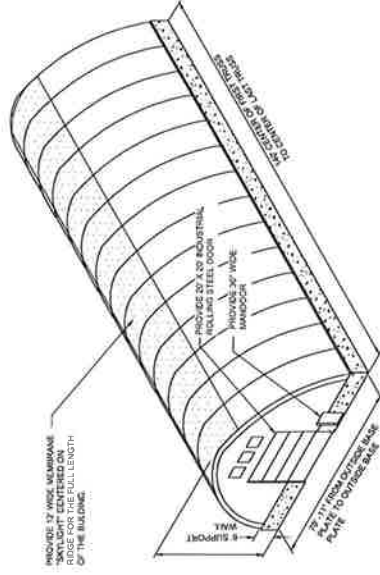
BUILDING REQUIREMENTS

- STRUCTURE TYPE: PREFABRICATED MEMBRANE COVERED TRUSS STRUCTURE
- GOVERNING BUILDING CODE: IBC 2018
- MINIMUM ROOF LOADS (BASED ON COMMERCIAL LOW HAZARD USE/OCCUPANCY)
 - MIN DESIGN DEAD LOADS 2.1 PSF
 - MIN COLLATERAL LOADS 0.25 PSF
 - MIN WIND LOADS 15 PSF
 - MIN SNOW LOADS 10 PSF
 - MIN UPLIFT LOADS 10 PSF
 - IMPORTANCE FACTOR 0.8
 - $C_e = 1.1$
 - $C_d = 1.1$
 - $G = 0.7$
 - $P_f = 40$ to 52 PSF
- WIND DESIGN
 - BASIC ULTIMATE WIND SPEED: 105 MPH
 - WIND EXPOSURE: C
 - WIND DIRECTIONAL FACTOR: 0.85
 - IMPORTANCE FACTOR: 0.85
 - ROOF HEIGHT: 40 NOMINAL
 - DESIGN ENCLOSURE: PARTIALLY ENCLOSED
- SEISMIC DESIGN
 - Sk 0.310
 - $S_1 = 0.099$
 - SEISMIC DESIGN CATEGORY: 1
 - SITE CLASS: D
 - USC GROUP: 1
 - R TRANSVERSE: 3.0
 - R LONGITUDINAL: 3.0
 - OCCUPANCY STANDARD SEISMIC: 1
- MEMBRANE COLOR TO BE SELECTED BY THE TOWN OF RIPTON AFTER AWARD OF THE CONTRACT, AND WHEN THE BUILDING MANUFACTURER IS PROVIDED WITH THE MANUFACTURER'S SPECIFICATIONS, THE CONTRACTOR HAS THE OPTION TO SELECT AN ALTERNATE COLOR OPTION. THE MEMBRANE SHALL INCLUDE A 1/2" WIDE SKYLIGHT (WHITE OR OPALQUE MEMBRANE) ALONG THE FULL LENGTH OF THE RIDGELINE.

SEE WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND SPECIFICATIONS FOR THE STRUCTURE

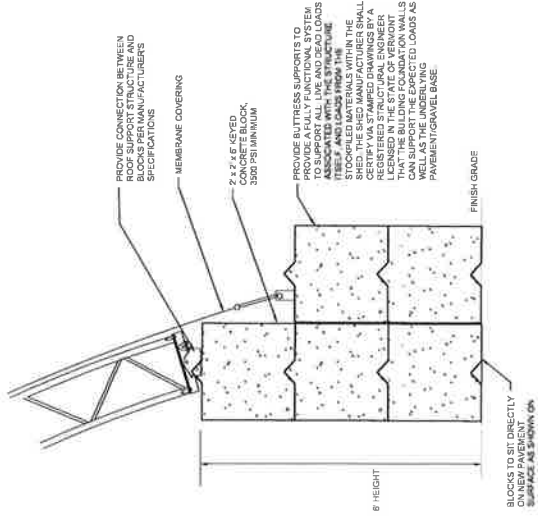


LIKENESS OF PROPOSED SAND & SALT SHED BUILDING



SHED DIMENSIONAL DETAIL

- NOTES:
- CONNECTIONS ABOVE ARE BASED ON ASSUMPTIONS BY MANUFACTURER AND MAY VARY. THE EXTERIOR NOMINAL DIMENSIONS OF THE BLDG SHALL BE 72' BY 140'.
 - THE E-GOS OF THE BLDG SHALL BE SUPERVISED BY AN INSPECTION AGENCY MEETING THE TYPICAL PAVEMENT AREA CROSS-SECTION" SHOWN ON SHEET 3.



- NOTES:
- CONCRETE BLOCK MATERIALS SHALL BE APPROVED BY ENGINEER.
 - WHERE FEASIBLE, BLOCK LAYOUT SHALL BE SUCH THAT THE VERTICAL JOINTS OF ADJACENT COURSES OF BLOCK SHALL BE OFFSET WITH THE JOINTS OF THE COURSE ABOVE AND BELOW.
 - ADDF CONNECTION DETAILS ARE FURNISHED ONLY AND MAY VARY DEPENDING ON STRUCTURE MANUFACTURER.

SHED WALL CROSS-SECTION

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SAND & SALT SHED DETAILS & SPECIFICATIONS

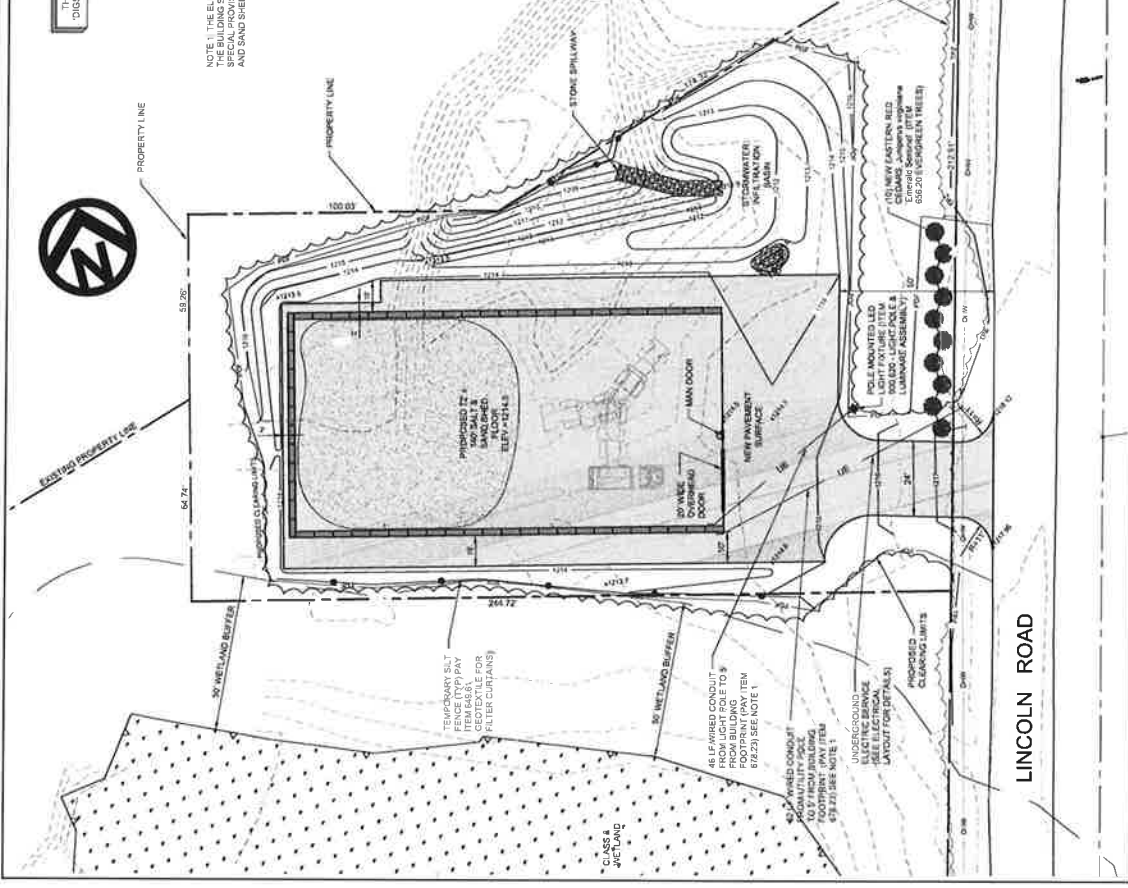
CONTRACT PLANS
NOVEMBER, 2022

RIPTON STP MM 19(18)

LD Lamoureux & Dickinson
Consulting Engineers, Inc.
14 Main Drive, Essex, VT 0552
802-874-4895 www.LDengineering.com

THIS CONTRACTOR SHALL NOTIFY THE OWNER'S FRONT TO ANY ELEVATION

NOTE: THE ELECTRICAL SYSTEM WITHIN 5' OF SPECIAL PROVISION PAY ITEM 900 045 SALT AND SAND SHED



PROPERTY LINE

EXISTING PROPERTY LINE

30' WETLAND BUFFER

PROPERTY LINE

STONE SPLASH WALL

STORMWATER INFILTRATION PITS

POLE MOUNTED LED LIGHTING FIXTURE (LUMINAIRE ASSEMBLY)

100 NEW EASTERN RED CEDAR TREES (5' HIGHER TREES) 500 205 (HIGHLIGHT TREES)

MAIN DOOR

NEW PARKING SURFACE

30' WIRE OVERHEAD CONDUIT

48 LF WIRE CONDUIT FROM LIGHT POLE TO 9' FOOTPRINT (PAY ITEM 69.23) SEE NOTE 1

50 LF WIRE CONDUIT FROM LIGHT POLE TO 17' FOOTPRINT (PAY ITEM 69.23) SEE NOTE 1

UNDERGROUND WIRE IN ELECTRICAL LAYOUT (FOR DETAILS)

CLASSIC ASPHALT

30' WETLAND BUFFER

EXISTING TREE LINE

REMAIN FOUND

LINCOLN ROAD

30' WETLAND BUFFER

48 LF WIRE CONDUIT FROM LIGHT POLE TO 9' FOOTPRINT (PAY ITEM 69.23) SEE NOTE 1

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CLASSIC ASPHALT

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UNDERGROUND WIRE IN ELECTRICAL LAYOUT (FOR DETAILS)

CLASSIC ASPHALT

30' WETLAND BUFFER

RIPTON STP MM 19(18)

SITE PLAN & COORDINATE LAYOUT PLAN

NOVEMBER, 2022

CONTRACT PLANS

SHEET 6

LAMOURAS & DICKINSON CONSULTING ENGINEERS, INC. 14 Main Street, Suite 101, Ripton, VT 05497 802.874.4150 www.LDengineers.com

LAD PROJECT NUMBER 19029 DRAWN BY LMD CHECKED BY BKS

GRAPHIC SCALE 0' 10' 20'

COORDINATE LAYOUT PLAN

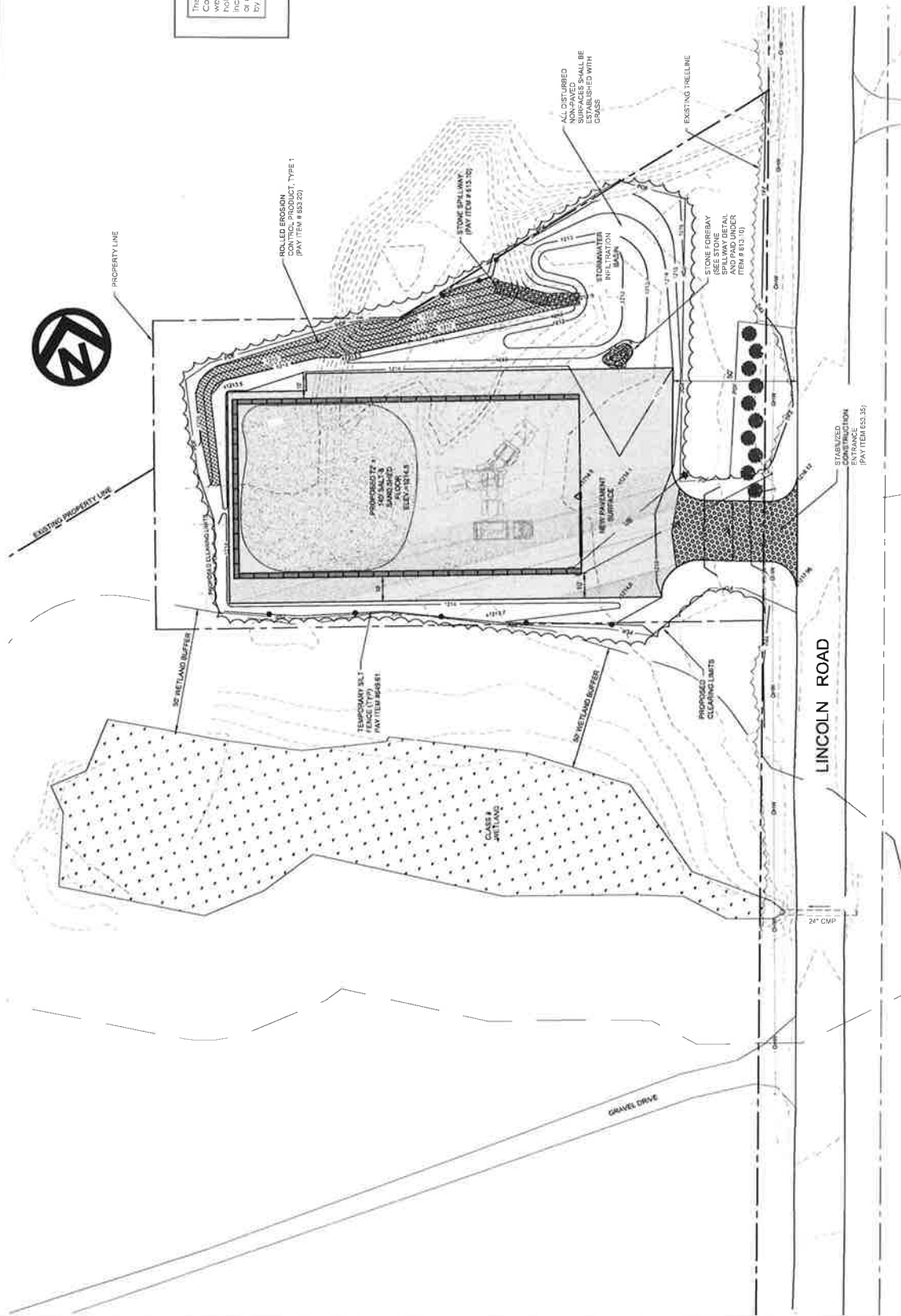
PLAN

THE CONTRACTOR SHALL VERIFY
DISSEASE PRIOR TO ANY EXCAVATION

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EPSC Legend

- EXISTING CONTOUR
- PROPOSED CONTOUR
- TEMPORARY SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- STONE SPILLWAY/STONE LINED DITCH
- EROSION MATTING



**CONTRACT PLANS
NOVEMBER, 2022**

RIPTON STP MM 19(18)

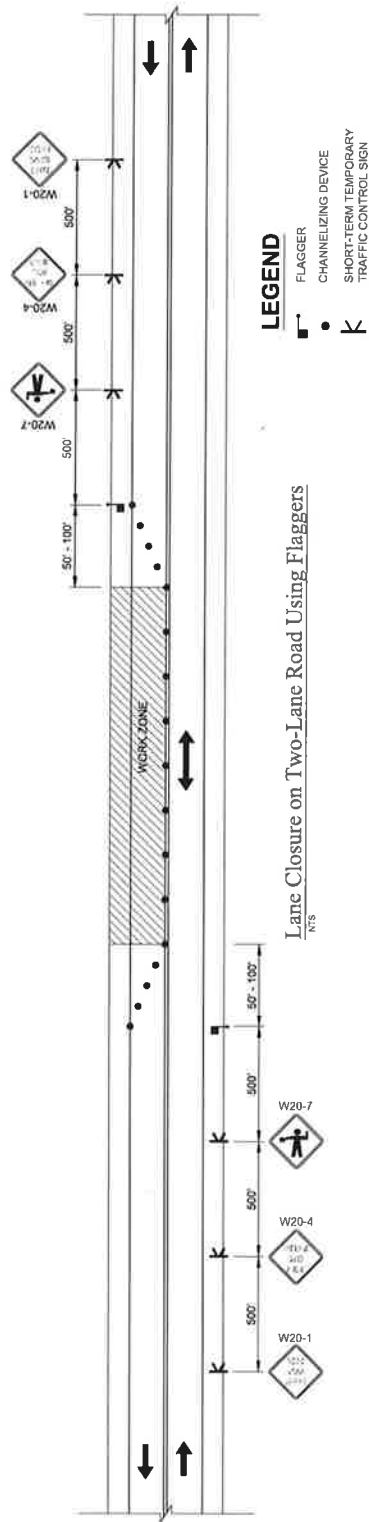
**EPSC
SITE PLAN**



Lamoureux & Dickinson
Consulting Engineers, Inc.
18 Main Drive, Ripton, VT 05492
802-878-4450 www.LDCpe.com

SHEET
7

LAD PRODUCT NUMBER 1909
CHECKED BY 06/60



Lane Closure on Two-Lane Road Using Flaggers
NTS

LEGEND
 FLAGGER
 CHANNELIZING DEVICE
 SHORT-TERM TEMPORARY TRAFFIC CONTROL SIGN

This plan was originally prepared by Lamoureux & Dickinson Consulting Engineers, Inc. Egan to this plan after May 14, 2022 were performed by TCE, Inc. Client agrees to indemnify and hold harmless TCE, Inc. from any damages, liabilities, or costs, including reasonable attorney's fees and defense costs, arising from any claims, damages, liabilities, or costs, of any kind, by any prior consultant released by the Client for this project.



TRAFFIC CONTROL NOTES

1. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE APPROPRIATE VTRANS E & T SERIES STANDARD DRAWINGS AND THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND ITS LATEST REVISIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING, ERECTING AND MAINTAINING CONSTRUCTION SIGNS AND WARNING DEVICES FOR THE PLANNED METHODS OF OPERATION IN CONFORMANCE WITH THE MUTCD.
3. WORK ON THIS PROJECT OR ANY SEPARATE ACTIVITY THEREIN, SHALL NOT START UNTIL ALL REQUIRED SIGNS AND WARNING DEVICES ARE INSTALLED.
4. NO CONSTRUCTION SIGNS SHALL BE INSTALLED AS TO INTERFERE OR OBSTRUCT THE VIEW OF EXISTING TRAFFIC CONTROL DEVICES, STOPPING SIGHT DISTANCES, AND CORNER SIGHT DISTANCES FROM DRIVES AND TOWN HIGHWAYS.
5. ALL TEMPORARY TRAFFIC CONTROL SIGNS SHOWN ON THIS SHEET ARE SHORT-TERM CONTROL DEVICES TO BE USED DURING CONSTRUCTION PERIODS AND REMOVED AT THE END OF THE WORK DAY.
6. THE CONTRACTOR SHALL PROVIDE ACCESS THROUGH THE WORK ZONE FOR EMERGENCY VEHICLES OR COORDINATE EMERGENCY ROUTES PRIOR TO THE START OF CONSTRUCTION.
7. ALL REASONABLE EFFORTS SHALL BE MADE TO ACCOMMODATE PEDESTRIAN TRAVEL. THIS SHALL BE LIMITED TO A DEDICATED PEDESTRIAN ESCAPE ROUTE, WHICH MAY BE LIMITED TO A DEDICATED CHANNELIZING DEVICE WALKWAYS THAT MEET ADA REQUIREMENTS.
8. THE CONTRACTOR SHALL NOT PLACE OBSTACLES, EQUIPMENT, CONSTRUCTION MATERIALS, TRAFFIC CONTROL DEVICES, ETC. SO THAT THEY MAY ENCRUSH INTO A BICYCLE PATH OF TRAVEL SUCH AS A BICYCLE LANE OR PATH.

CONTRACT PLANS
 NOVEMBER, 2022

TRAFFIC CONTROL PLAN

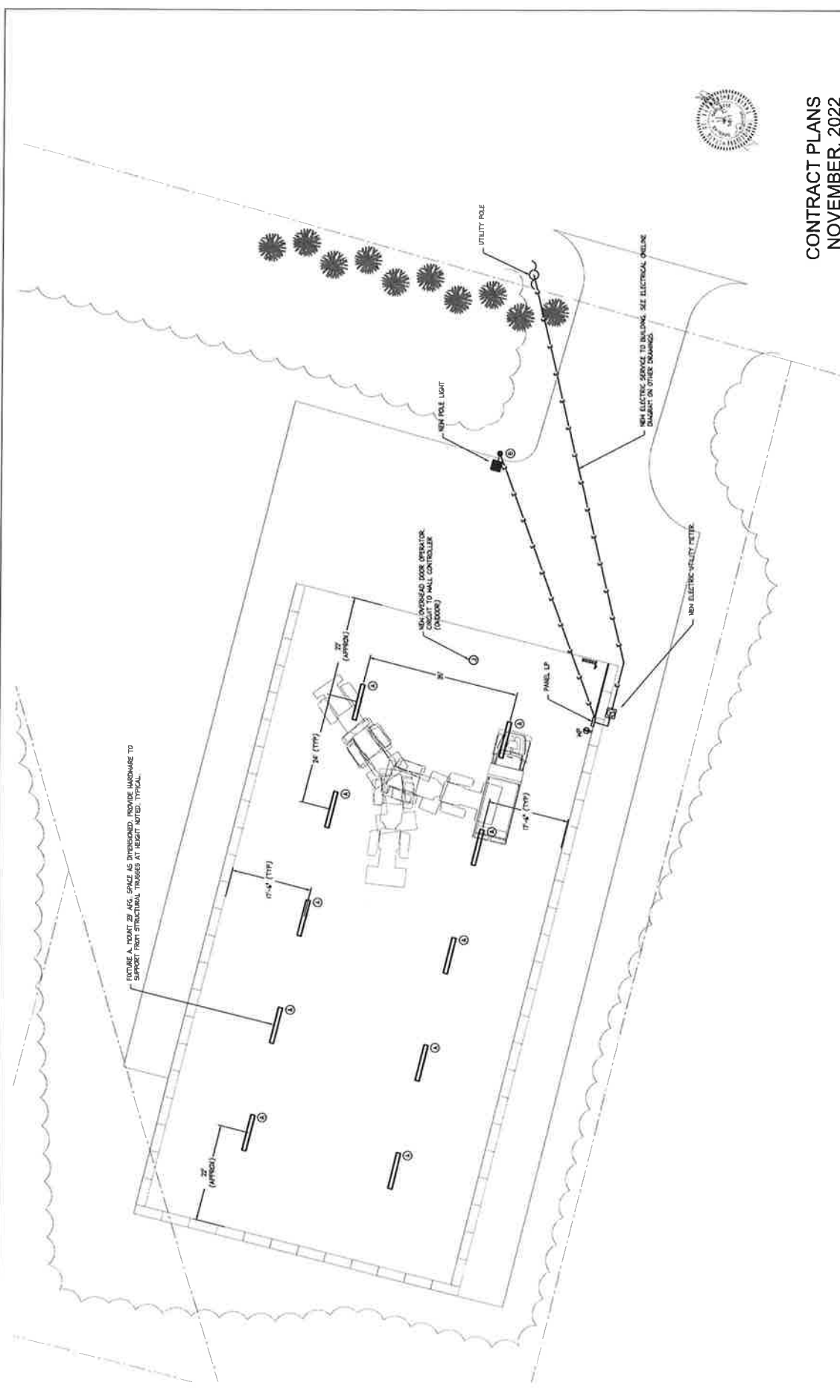
RIPTON STP MM 19(18)



Lamoureux & Dickinson
 Consulting Engineers, Inc.
 14 Main Drive, Essex, VT 05452
 802-878-6400 www.LDEngineering.com

LD PROJECT MANAGER: TADY
 DRAWN BY: LAD
 CHECKED BY: DGDH

SHEET: 8



CONTRACT PLANS
NOVEMBER, 2022

ELECTRICAL SITE PLAN

SHEET:
EL1

Lamoureux & Dickinson
L&D PROJECT NUMBER 19039
LNC PROJECT NUMBER 21027
DRAWN BY: LNC
CHECKED BY: JADG
802-875-6450 www.LDgroupinc.com

LNC CONSULTING
208 FLYNN AVENUE
BURLINGTON, VT 05401
SUITE 102
(802) 487-1728
www.lncconsulting.com
LNC Project No. 21027

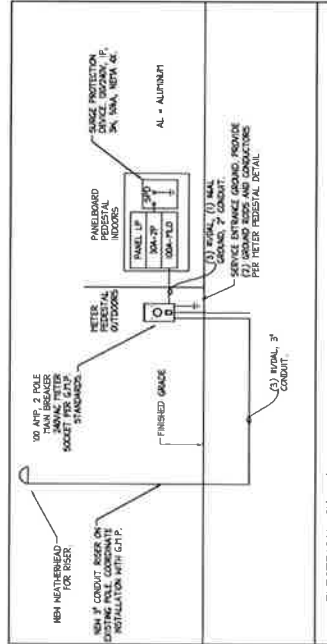
① ELECTRICAL - SITE PLAN
SCALE: 1" = 10'

SYMBOL	DESCRIPTION
□	ELECTRIC EQUIPMENT SITES MARK
□	BLANK INDICATES ABOVE GRADE
○	NON POLE MOUNTED LIGHT FIXTURE
⊕	HEATER/PROOF EQUIPMENT OF RECEPTACLE
⊖	UTILITY METER
⊙	JUNCTION BOX

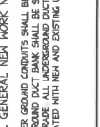
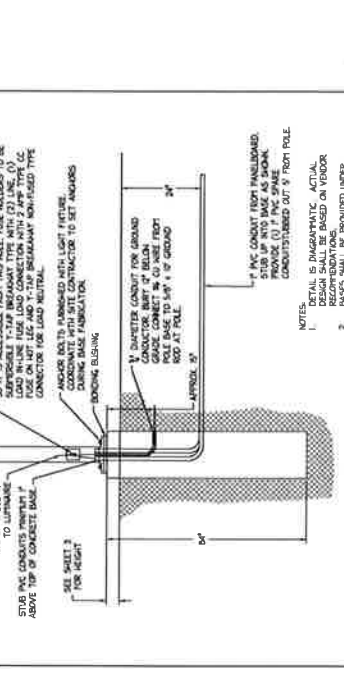
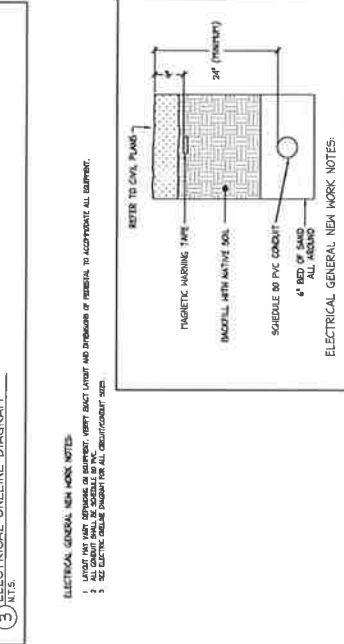
ITEM #	DESCRIPTION	MARKET MODEL	QUANTITY	REMARKS
1	8" LED VARI-TIGHT	SEE NOTE A BELOW	000	COORDINATE EXACT LOCATIONS IN FIELD TO ACCOMMODATE CONTRACTORS PROVIDE APPROXIMATE LOCATION
2	SEE SPECIFICATIONS		000	APPROXIMATELY 1400 LUMENS, TYPE 3 DRIVER, FOR, FUTURE POTENTIAL AND OCCUPANCY SENSITIVE TO DIVISION OF LIGHT.

ELECTRICAL GENERAL NOTES:

- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR AND MATERIALS NECESSARY TO PROVIDE A COMPLETE, CODE COMPLIANT ELECTRICAL SYSTEM. THE DRAWINGS ARE SUPPLEMENTARY TO THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) NON-CODE COMPLIANT DRAWINGS AND TO DRAWINGS INTERPRETATION. THE ELECTRICAL CONTRACTOR SHALL PROVIDE NOTIFICATIONS OF ILLUSTRATED WORK IN ORDER TO ACCOMMODATE THE ELECTRICAL CONTRACTOR'S SCHEDULE. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING POWER AND THE FINAL ELECTRICAL CONNECTIONS TO ALL EQUIPMENT REQUIREING POWER INDICATED ON THE DRAWINGS. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO SECURING AND INSULATING CONDUCTS. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH ALL OTHER TRADES DURING CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE IDENTIFICATION OF THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) NON-CODE COMPLIANT DRAWINGS AND TO DRAWINGS INTERPRETATION. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR, MATERIALS, TOOLS, AND EQUIPMENT NECESSARY FOR THE COMPLETE INSTALLATION OF ALL WORK SHOWN ON THE DRAWINGS AND SPECIFICATIONS. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES. PROVIDE A COORDINATION DRAWING TO THE ELECTRICAL CONTRACTOR, AND ALL OTHER TRADES SHOWING THE LOCATION OF ALL DEVICES AND EQUIPMENT THROUGHOUT THE PROJECT. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY POWER AND LIGHTING CONDUCTS. ALL PHASES OF THE WORK SHALL BE COMPLETED WITH THE UTILITY AND OWNER. ALL INSTALLATIONS SHALL BE AS DICTATED IN SPECIFICATIONS.
- ELECTRICAL SPECIFICATIONS:**
- ALL CONDUITS TRANSFORMING FROM BELOW TO ABOVE GROUND SHALL HAVE EXPANSION JOINTS AT THE POINT OF TRANSFORMATION. ALL CONDUITS SHALL BE INSTALLED WITH A CORROSION RESISTANT ALL EXTERIOR GROUND CONDUITS SHALL BE GATED WITH A CORROSION RESISTANT MATERIAL.
- CONDUIT SIZES SHALL BE SCHEDULE 40 PVC TYPE CONDUIT SIZES UP AND ALL EXPOSED CONDUIT SHALL BE SCHEDULE 40 PVC TYPE CONDUIT SIZES UP AND ALL CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO CONDUIT ROUTINGS ARE MAINTAINED AND WHERE POSSIBLE KEEP THE LENGTH OF RUNS TO A MINIMUM.
- ALL CONDUITS SHALL BE SCHEDULE 40 PVC, UNLESS OTHERWISE NOTED OTHERWISE.



VOLTAGE	NEUTRAL	PHASE	WIRING METHOD	LOCATION		TYPE	MATERIAL	NOTES
				A	B			
120V	N	1	1	1	1	1	1	1
120V	N	2	2	2	2	2	2	2
120V	N	3	3	3	3	3	3	3
120V	N	4	4	4	4	4	4	4
120V	N	5	5	5	5	5	5	5
120V	N	6	6	6	6	6	6	6
120V	N	7	7	7	7	7	7	7
120V	N	8	8	8	8	8	8	8
120V	N	9	9	9	9	9	9	9
120V	N	10	10	10	10	10	10	10



CONTRACT PLANS
NOVEMBER, 2022

ELECTRICAL NOTES, LEGENDS, RISERS AND DETAILS

Lamoureux & Dickinson
Consulting Engineers, Inc.
100 State Street, Suite 207
Burlington, VT 05401
www.L&DConsulting.com

L&D
PROJECT NUMBER 14009
L&D PROJECT NUMBER 21007
DRAWN BY, LNC
CHECKED BY, JMGD

208 ELYAN AVENUE
SUITE #2
BURLINGTON, VT 05401
(802) 855-1753
www.L&DConsulting.com

L&D
CONSULTING

L&D Project No. 21007



CONTRACT PLANS
NOVEMBER, 2022

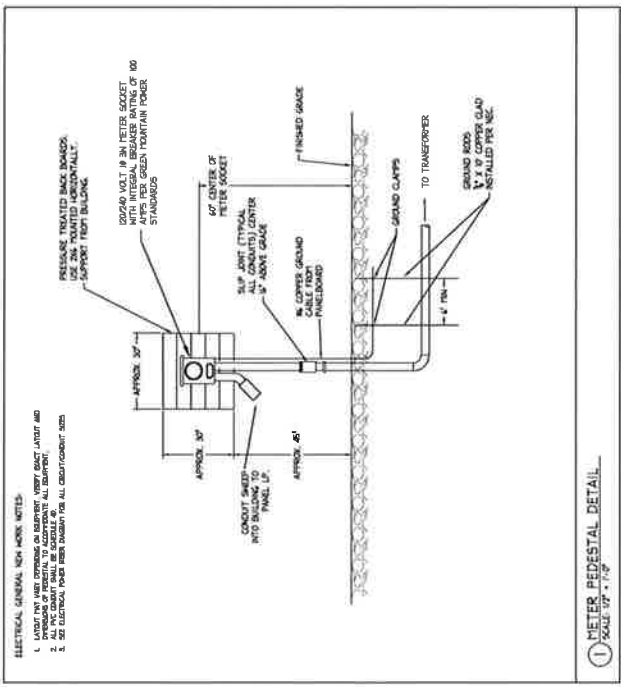
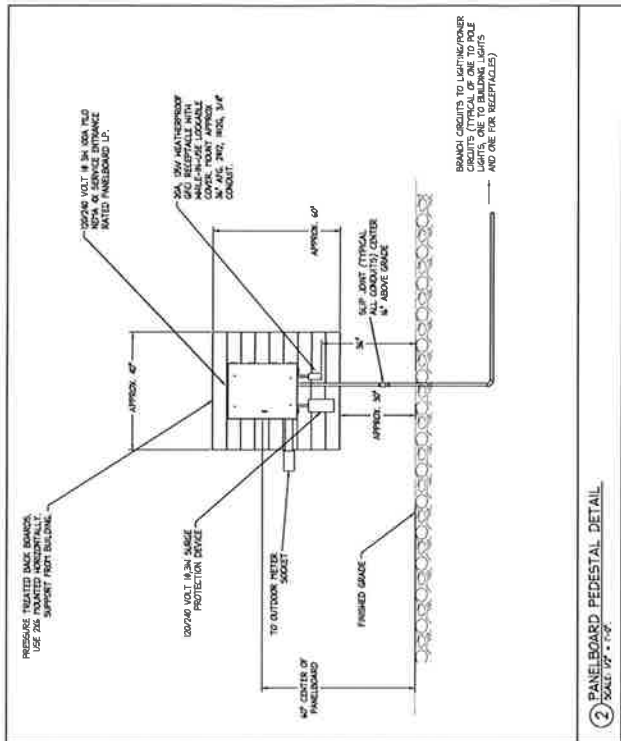
ELECTRICAL DETAILS

SHEET:
EL3

LAD PROJECT NUMBER: 11029
LNC PROJECT NUMBER: 21007
DRAWN BY: LNC
CHECKED BY: JMO

L Lamoine & Dickinson
Consulting Engineers, Inc.
100 North Main Street
802-271-4450 www.lamoine.com

L CONSULTING
203 FLYNN AVENUE
SUITE #2
BURLINGTON, VT 05401
www.lncconsulting.com
LNC Project No. 21007



Estimate FINAL

Estimated Cost:\$468,029.11

Contingency: 0.00%

Estimated Total: \$468,029.11

Conceptual Plans

Base Date: 07/13/21

Spec Year: 18

Unit System: E

Work Type: BUILDING CONSTRUCTION

Highway Type: LOCAL

Urban/Rural Type: RURAL

Season: CONSTRUCTION (APRIL 15th - OCTOBER 15th)

County: RIPTON

Latitude of Midpoint: 441456

Longitude of Midpoint: 724454

District: NW

Federal Project Number: Ripton STP MM 19(18)

State Project Number:

Estimate Type: FINAL PLANS

Prepared by NDS on 07/13/21

Checked by DJG on 07/13/21

<u>Line #</u>	<u>Item Number</u>	<u>Quantity</u>	<u>Units</u>	<u>Unit Price</u>	<u>Extension</u>
<u>Description</u>					
<u>Supplemental Description</u>					
Group 1011: Facility					
0005	201.10	1.000	LS	\$5,000.00000	\$5,000.00
CLEARING AND GRUBBING, INCLUDING INDIVIDUAL TREES AND STUMPS					
0006	201.15	24.000	EACH	\$300.00000	\$7,200.00
REMOVING MEDIUM TREES					
0007	204.20	27.000	CY	\$79.81323	\$2,154.96
TRENCH EXCAVATION OF EARTH					
0009	203.15	1,090.000	CY	\$15.77389	\$17,193.54
COMMON EXCAVATION					
0011	203.32	320.000	CY	\$28.95957	\$9,267.06
GRANULAR BORROW					
0014	301.25	811.000	CY	\$36.26158	\$29,408.14
SUBBASE OF CRUSHED GRAVEL, COARSE GRADED					
0015	406.35	438.000	TON	\$150.00000	\$65,700.00
SUPERPAVE BITUMINOUS CONCRETE PAVEMENT					
0019	609.10	0.500	MGAL	\$43.00000	\$21.50
DUST CONTROL WITH WATER					
0020	613.10	15.000	CY	\$55.00000	\$825.00
STONE FILL, TYPE I					
0028	630.15	80.000	HR	\$40.00000	\$3,200.00
FLAGGERS					
0029	635.11	1.000	LS	\$39,000.00000	\$39,000.00
MOBILIZATION/DEMOBILIZATION					
0030	641.11	1.000	LS	\$1,000.00000	\$1,000.00
TRAFFIC CONTROL, ALL-INCLUSIVE					
0031	649.11	1,947.000	SY	\$3.24704	\$6,321.99
GEOTEXTILE FOR ROADBED SEPARATOR					
0032	608.30	8.000	HR	\$65.00000	\$520.00
POWER BROOM RENTAL, TYPE I					
0033	649.31	31.000	SY	\$6.02459	\$186.76
GEOTEXTILE UNDER STONE FILL					
0034	653.55	781.000	LF	\$1.15545	\$902.41
PROJECT DEMARCATION FENCE					
0039	656.85	1.000	LS	\$1,000.00000	\$1,000.00
TREE PROTECTION					
0041	678.23	126.000	LF	\$25.63159	\$3,229.58
WIRED CONDUIT					
0042	900.620	1.000	EACH	\$4,750.00000	\$4,750.00
SPECIAL PROVISION (Light Pole & Luminaire Assembly)					
0043	900.645	1.000	LS	\$255,000.00000	\$255,000.00
SPECIAL PROVISION (Salt & Sand Shed)					
0055	406.50	1.000	LU	\$1.00000	\$1.00
PRICE ADJUSTMENT, ASPHALT CEMENT (N.A.B.I.)					

<u>Line #</u>	<u>Item Number</u>	<u>Quantity</u>	<u>Units</u>	<u>Unit Price</u>	<u>Extension</u>
<u>Description</u>					
<u>Supplemental Description</u>					

Total for Group 1011:\$451,881.94

Group 1015: Erosion Control

0045	651.15 SEED	32.000	LB	\$7.53230	\$241.03
0046	651.18 FERTILIZER	132.000	LB	\$3.07743	\$406.22
0047	651.20 AGRICULTURAL LIMESTONE	0.100	TON	\$759.89242	\$75.99
0048	651.35 TOPSOIL	140.000	CY	\$58.95809	\$8,254.13
0049	653.02 MONITORING EPSC PLAN	8.000	HR	\$40.00000	\$320.00
0050	653.10 HAY MULCH	0.500	TON	\$500.00000	\$250.00
0051	653.20 ROLLED EROSION CONTROL PRODUCT, TYPE I	185.000	SY	\$2.41516	\$446.80
0053	653.35 STABILIZED CONSTRUCTION ENTRANCE	31.000	CY	\$67.44735	\$2,090.87
0054	649.61 GEOTEXTILE FOR FILTER CURTAIN	77.000	SY	\$15.39234	\$1,185.21

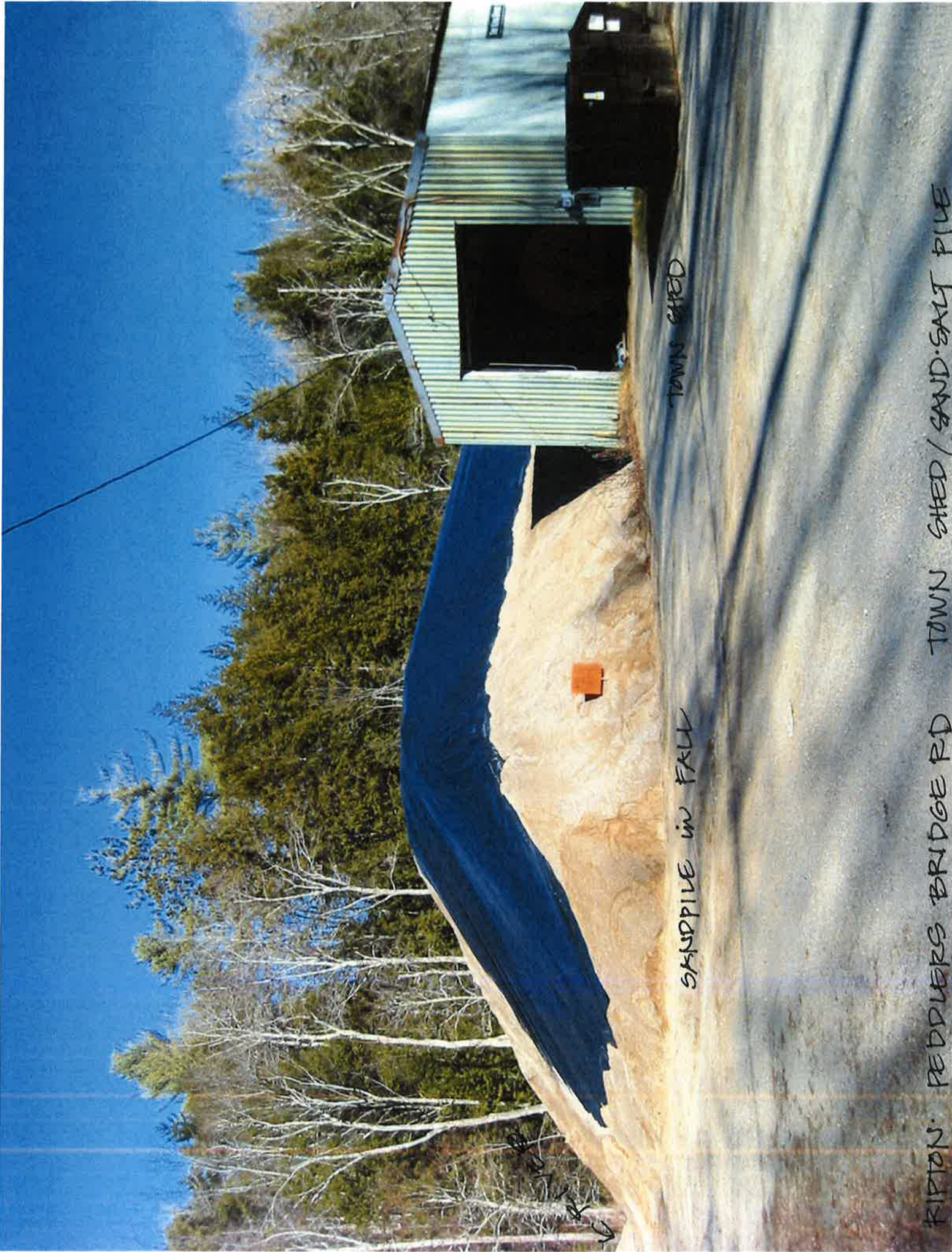
Total for Group 1015:\$13,270.25

Group 1016: Facility - Non-Participating

0056	656.20 EVERGREEN TREES	10.000	EACH	\$287.69202	\$2,876.92
------	---------------------------	--------	------	-------------	------------

Total for Group 1016:\$2,876.92

Further documentation of the problem



TOWN SHED

SANDPILE IN FALL

RIPTON. PEDDLERS BRIDGE RD TOWN SHED / SAND-SALT PILE



SAND/SILT PILE REMAINS

WASHED TO RIVER

III

RIPTON · PEDDERS BRIDGE RD · TOWN SHED/SAND · SAT · JULY 2017



SAND/SALT PILE REMAINS

WANTED TO RIVER

RIFTON PEPPERERS BRIDGE RD. TOWN SHED / SAND-SALT PILE JULY 2017



RIVER
PK

VIEW AT
RIVER BANK

WASHED AWAY

RIFTON. PEDDERS BRIDGE RD. TOWN SHED/SAND SHED JULY 2017



RIPTON, PEPPER BRIDGE RD / TOWN SHED / SAND SHED JULY 2017



2011 FLOOD DAMAGE

RIPTON · PEDDUE'S BRIDGE RD TOWN STAFF / SAND · SALT PILE 2011



2000 FLOOD PHOTO

RIPTON PEDDERS BRIDGE RD TOWN SHED / SAND-SALT PILE

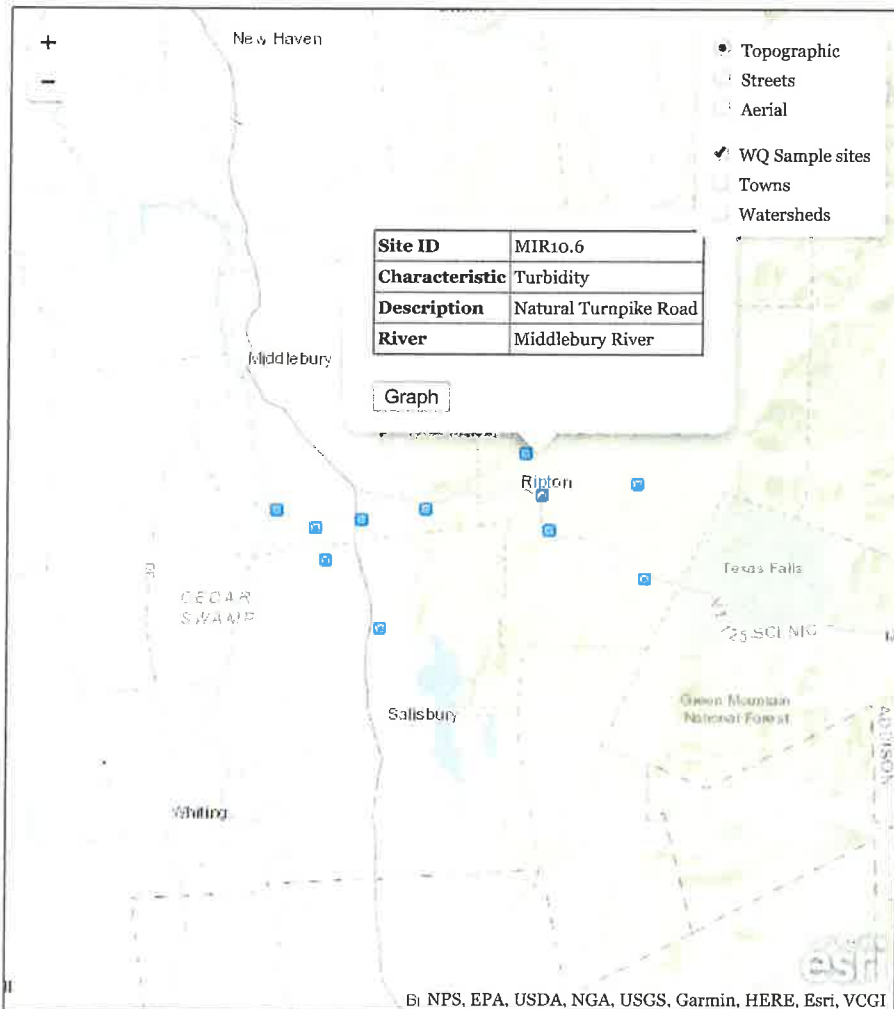
2000

Supplemental Information: Ripton application

The Addison County River Watch Collaborative samples water quality at a site in the Middle Branch of the Middlebury River near Billings Bridge on Natural Turnpike in Ripton. This site is downstream of the town sand/salt pile on Peddlers Bridge Road. The sample site is also downstream of Sparks Brook which joins the river below the town sand/salt pile. The most recent graph publicly available showing turbidity measures at the sample site is below.

Addison County River Watch Collaborative

Water Quality Database 1992-2015



Sampling Results Data Filter

1st - Choose a time frame

Sampling Time Frame

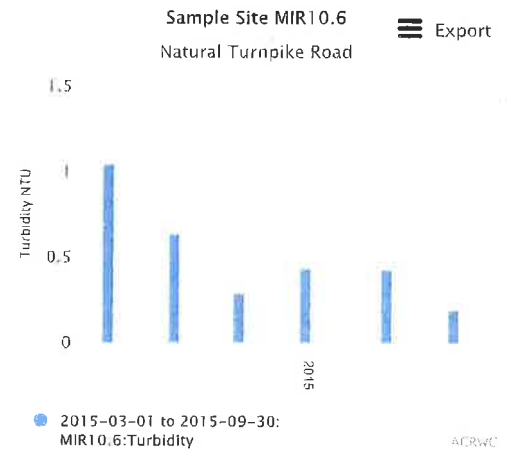
- Single Year 2015 Season ▼
- Choose Dates

2nd - Choose a river and parameter

River: Parameter:
 Middlebury River ▼ Turbidity ▼

3rd - Search the database

Select sites from database Show all sites - Reset



[ACRWC Summary Reports by year and watershed](#)

[Addison County River Watch Collaborative Home](#)

Supplemental Information: Ripton application

Summary of Declared Disasters 1973-2017

From *Town of Ripton, Vermont Single Jurisdiction Update All-Hazards Mitigation Plan*

1.6. Community Risk Assessment

In Ripton, the interviews for the 2013 plan indicated that the following hazards should be listed as High or Medium-High in terms of likelihood –Power Failure, Flooding, High Winds, Landslide, Lightning, HazMat (Transportation Accidents), Structure Fire, Wildfire, and Winter Storm. In terms of Vulnerability, the town rated these hazards as High or Medium-High –Flooding, Landslide, HazMat, Wildfire, Winter Storm and Earthquake. Hazards that rated as high total risk include Flooding, Landslide, HazMat, Wildfire, and Winter Storm. (see complete HIRA table for Ripton at Annex E.)

A 2017 reassessment of Ripton’s hazards and risks by the hazard mitigation committee indicated that Flash Flood, High Wind and Ice Storm still comprise the greatest concerns in town. Of lesser concern yet still of elevated priority were Inundation Flooding and Severe Snow events. These 5 hazards are profiled to a greater extent in 1.6.1. Remaining hazards assessed including Dam Failure, Lightning Strike, Hail, Tornado, Drought, Wildfire, Earthquake, Infectious Disease, Insect-borne Illness, Invasive species, Extreme temperature, HazMat Spill, Highway Accident, Structure Fire and Rockslide were considered of lesser concern to committee members and were not profiled in depth. Given the actual expenses the community has incurred since 1973, (See Table #1 Below), the committee’s assessment closely mirrors its disaster experience.

Date	Description	Dec. #	County Cost	Ripton
7/6/1973	Storms, Flooding, Landslides	DR397	\$ Unavailable	Unknown
8/5/1976	Storms, High Winds, Flooding	DR518	\$ Unavailable	Unknown
9/6/1977	Drought	EM3053	\$ Unavailable	Unknown
8/4-5/1989	Severe Storms, Flooding	DR840	\$ 31,033	Unknown
4/24-5/26/1993	Flooding, Heavy Rain, Snowfall	DR990	\$ 17,639	Unknown
1/19-2/2/1996	Storms, Flooding	DR1101	\$ 130,529	Unknown
1/6-16/1998	Ice Storms	DR1201	\$ 662,388	Unknown
7/17-8/17/1998	Severe Storms and Flooding	DR1228	\$2,146,484	Unknown
7/14-18/2000	Severe Storms and Flooding	DR1336	\$738,127.27	\$634,807.93
3/5-7/2001	Snowstorm	EM3167	\$ 138,333.08	\$3556.10
8/12-9/12/2004	Severe Storms and Flooding	DR1559	\$430,551.00	\$0.00
6/14-17/2008	Severe Storms and Flooding	DR1778	\$1,114,515.70	\$796,179.40
7/21-8/12/2008	Severe Storms and Flooding	DR1790	\$2,273,481.42	\$252,394.96
4/23-5/9/2011	Severe Storms and Flooding	DR1995	\$384,416.53	\$0.00
8/26-9/2/2011	Hurricane Irene	EM3338	\$ Unavailable	Unknown
8/27-9/2/2011	Tropical Storm Irene	DR4022	\$1,175,911.2	\$125,267.29
5/29/2012	Storm, Tornado & Flooding	DR4066	\$172,847.70	\$31,099.30
12/9-13/2014	Severe Winter Storm	DR4207	\$184,715.05	\$22,745.53
6/9/2015	Severe Storm/Flooding	DR4232	\$893,310.63	\$0.00
10/29-30/2017	Severe Storm/Flooding	DR4356		Unknown

Supplemental Information: Ripton application

Summary of damage at the town shed, sand/salt pile site through 2102

The site washed-out again in 2017, approximately 200 yards of sand lost.

FY 2014 Transportation Planning Study Request

Town of Ripton

June 2013

Peddlers Bridge Road (TH#2) armored water crossings

Summary: Armored water crossings were suggested by FEMA staff as a potential solution for the problem of storm water overflow on town roads, such as at two Peddlers Bridge Road culverts. The Peddler Bridge Road project did not meet FEMA Hazard Mitigation Program benefit:cost criteria for funding and construction. However, we hope to study the idea and produce a model for regional use.

Damage History: This chart shows the damage history at one culvert (B13) where the culvert over-tops, erodes the road, flows through the town shed and damages the site. It is proposed that a relief channel (armored water crossing) could accommodate overflow and prevent damage to the road and town shed site.

Year	Description of event	Cost of repairs	Loss of function	Construction date or last major repair	Useful life	Next point \$ necessary
2012	repair	\$26,001.50	2	Inlet only 2012	Inlet headwall repair and riprap	
2011	flood – road and shed damage, winter sand pile washed away	\$9,018.42	1	1954	5 years Headwall is gone. Culvert was good in 2003. In fall 2011 the bottom has holes and rust.	2016
2008	flood – road and shed damage	\$8,045.00	2	road repair		
2003	Hydraulic study completed – culvert in good condition. \$51,300 Structures grant awarded for a relief culvert. The Agency of Natural Resources did not permit the relief culvert; would only permit a bridge.					
2000	flood – road, bldg., equip. damage	\$4,198.00 (road and culvert only) \$385,000+ (fire station replacement)	3	road & headwall repair		
1976	flood	\$800.00				
1954	flood	\$5,803.00	3	culvert		



Alison Joseph Dickinson <ajdickinson@riptonvt.org>

Ripton sand shed project

Mike Winslow <mwinslow@acrpc.org>

Mon, Dec 4, 2023 at 12:21 PM

To: Alison Joseph Dickinson <ajdickinson@riptonvt.org>

Cc: Adam Lougee <alougee@acrpc.org>

Alison,

Adam has been out sick, but I can confirm that ACRPC continues to support Ripton's efforts to build a new sand/salt shed for their winter maintenance supplies. We appreciate the town's efforts at reducing impacts on water quality.

Please let me know if you need something more formal.

Mike

[Quoted text hidden]

12/14/22, 12:41 PM

Town of Ripton Mail - Ripton sand shed project



Alison Joseph Dickinson <ajdickinson@riptonvt.org>

Ripton sand shed project

Adam Lougee <alougee@acrpc.org>

Fri, Dec 9, 2022 at 1:44 PM

To: Alison Joseph Dickinson <ajdickinson@riptonvt.org>

Cc: Mike Winslow <mwinslow@acrpc.org>

Hi Alison:

This email constitutes ACRPC's continued support for Ripton's Salt shed application. Please re-attach our previous letter of support. This application should be even stronger since you have already secured a significant portion of the funding for the shed and this is needed to get to construction.

Best,

Adam

On Fri, Dec 9, 2022 at 12:58 PM Alison Joseph Dickinson <ajdickinson@riptonvt.org> wrote:

[Quoted text hidden]

*Addison County***Regional Planning Commission**

Adam G. Lougee, Executive Director

Addison County Regional Planning Commission

14 Seminary Street

Middlebury, Vermont 05753

(802) 388 -3141 Office

(802) 233-5420 Cell

alougee@acrpc.org

Addison County Regional Planning Commission

14 Seminary Street Middlebury, VT 05753 www.acrpc.org Phone: 802.388.3141 Fax: 802.388.0038

July 13, 2018

Alison Joseph Dickinson
Town Administrator, Clerk, Lister
Town of Ripton
802-388-2266
PO Box 10
Ripton VT 05766
ajdickinson@riptonvt.org

Re: Support of Ripton's Grant Application to re-locate and build a new sand and salt facilities.

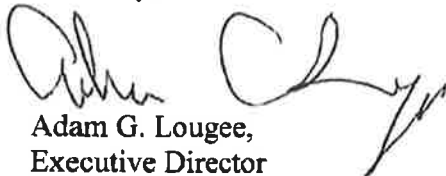
Dear Alison:

This letter constitutes the support of the Addison County Regional Planning Commission of the Town of Ripton's application to for funding to move its current salt and sand piles away from the Middlebury River.

Contamination of rivers and streams with road sand and salt is a significant concern. Ripton's current sand and salt storage area sits right on the Middlebury River and consistently erodes directly into the river. Moving the piles to a better location away from the river that can appropriately store sand and salt just makes sense.

The Addison County Regional Planning Commission is in full support of Ripton's request for funding to improve water quality in the Middlebury River by moving and improving its salt and sand facilities.

Sincerely,


Adam G. Lougee,
Executive Director

Addison Bridport Bristol Cornwall Ferrisburgh Goshen Leicester
Lincoln Middlebury Monkton New Haven Orwell Panton Ripton
Salisbury Shoreham Starksboro Vergennes Waltham Weybridge Whiting



Town of Ripton
Planning Commission
P.O. Box 10
Ripton VT 05766

Alison Joseph
Ripton Selectboard Clerk
P. O. Box 10
Ripton VT 05766

July 11, 2018

Dear Alison,

The Town of Ripton is in great need of a new sand and salt shed. Ripton has relied for years on an open-air pile in a floodplain on the only town-owned parcel that is remotely suitable for a sand and salt pile. Having seen and, as Ripton residents helped pay for repairs to, the flood damage caused by runoff on the sand and salt pile from increasingly strong and frequent storms, I and the other members of the Ripton Planning Commission voted at our monthly meeting on July 10, 2018 to support the SFY 2019 Environmental Mitigation Grant Application by the Town of Ripton Selectboard to purchase land that is suitable for a shed for sand and salt storage. The reduction in the amount of salt and sand entering the Middlebury River annually will significantly improve water quality in the Middlebury River.

Sincerely yours,

Warren King, Chair
Ripton Planning Commission

CONTINUED SUPPORT CONFIRMED AT THE
DEC. 13, 2022 PLANNING COMMISSION
MEETING.

Hosking, Dick Jul 11, 2018 (2 days ago)

Via Email

I have seen the damage that occurs at the present location and District 5 endorses the moving of the Salt/Sand storage to a location and facility that will prevent impacts to the environment.

Richard Hosking

Vermont Agency of Transportation

District 5 Project Manager

189 Troy Avenue

Colchester, VT 05446

(P) 802-654-1722

(F) 802-655-6642



Alison Joseph Dickinson <ajdickinson@riptonvt.org>

Ripton Transportation Alternatives Grant Application

Alison Joseph Dickinson <ajdickinson@riptonvt.org>
To: "Sanderson, Brian" <Brian.Sanderson@vermont.gov>

Wed, Dec 14, 2022 at 12:55 PM

Hello Brian,

The estimated construction cost for the sand shed project we talked about during your recent visit to Ripton exceeds our available funds. We are applying for a Transportation Alternatives grant to help make up the shortfall. I hope you will support our application.

Thank you,

Alison

--
Alison Joseph Dickinson
Town Administrator, Clerk, Lister, Municipal Project Manager
Town of Ripton
802-388-2266
PO Box 10
Ripton VT 05766
ajdickinson@riptonvt.org

Emails to this address are public record, with the exception of attorney/client correspondence.

BRIAN SANDERSON, OUR DTA, OFFERED A LETTER OF SUPPORT,
but we were told it wasn't necessary.
-thank you